

Plans for Major Applications Planning Committee

5th March 2015



HILLINGDON
LONDON



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www.hillingdon.gov.uk

Report of the Head of Planning, Sport and Green Spaces

Address 88-94 LONG LANE ICKENHAM

Development: Demolition of 5 existing dwellinghouses and redevelopment of the site for a 85 unit Class C2 care home for the elderly of 1.5 to 2.5 storeys in height with associated landscaping and car parking (40 spaces in total), stopping up of existing vehicular accesses on Long Lane and construction of new vehicular access onto Long Lane.

LBH Ref Nos: 52129/APP/2014/2996

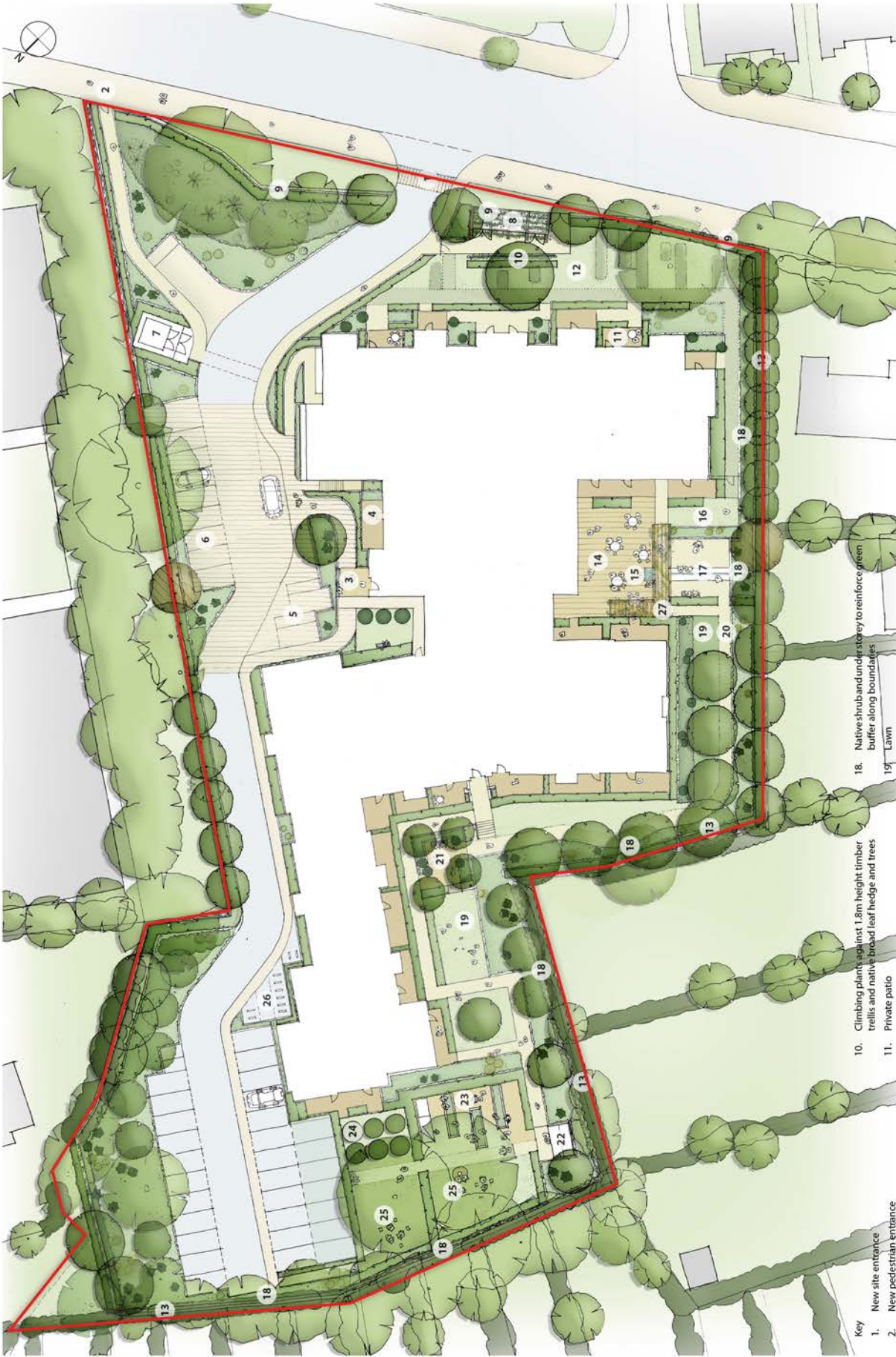
Date Plans Received: 20/08/2014

Date(s) of Amendment(s): 20/01/2015

Date Application Valid: 15/09/2014

20/08/2014

21/10/2014



Key

1. New site entrance
2. New pedestrian entrance
3. Main entrance/Lobby
4. Outdoor cafe area
5. Disabled parking
6. Parking area
7. Substation enclosure
8. Bin store with pergola top/climber
9. 1200 railing over brick wall with clipped native hedge

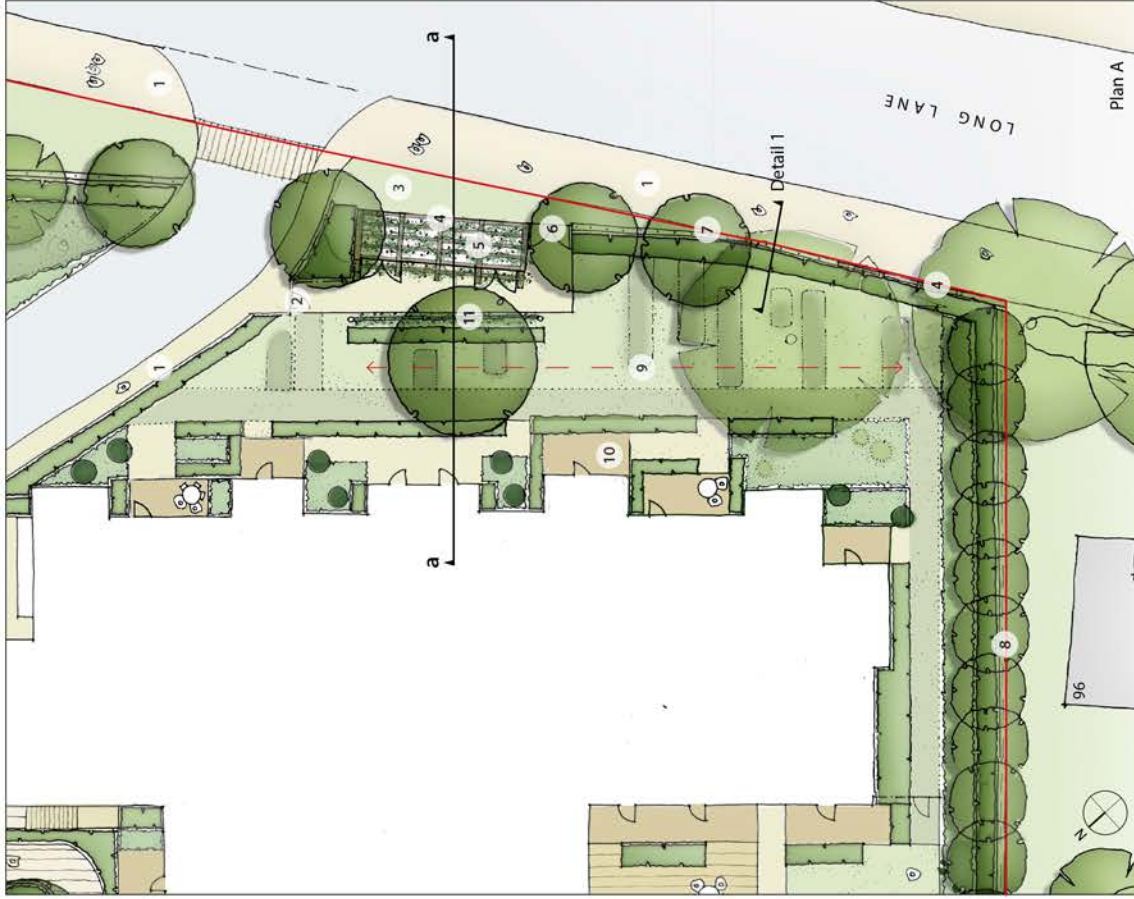
10. Climbing plants against 1.8m height timber trellis and native broad leaf hedge and trees

11. Private patio
12. Front garden: Ornamental grass and lavender parterre
13. Existing timber close board fencing and native evergreen hedge and trees
14. Dining terrace
15. Water feature: mirror pool
16. Courtyard garden
17. Water feature/Bench

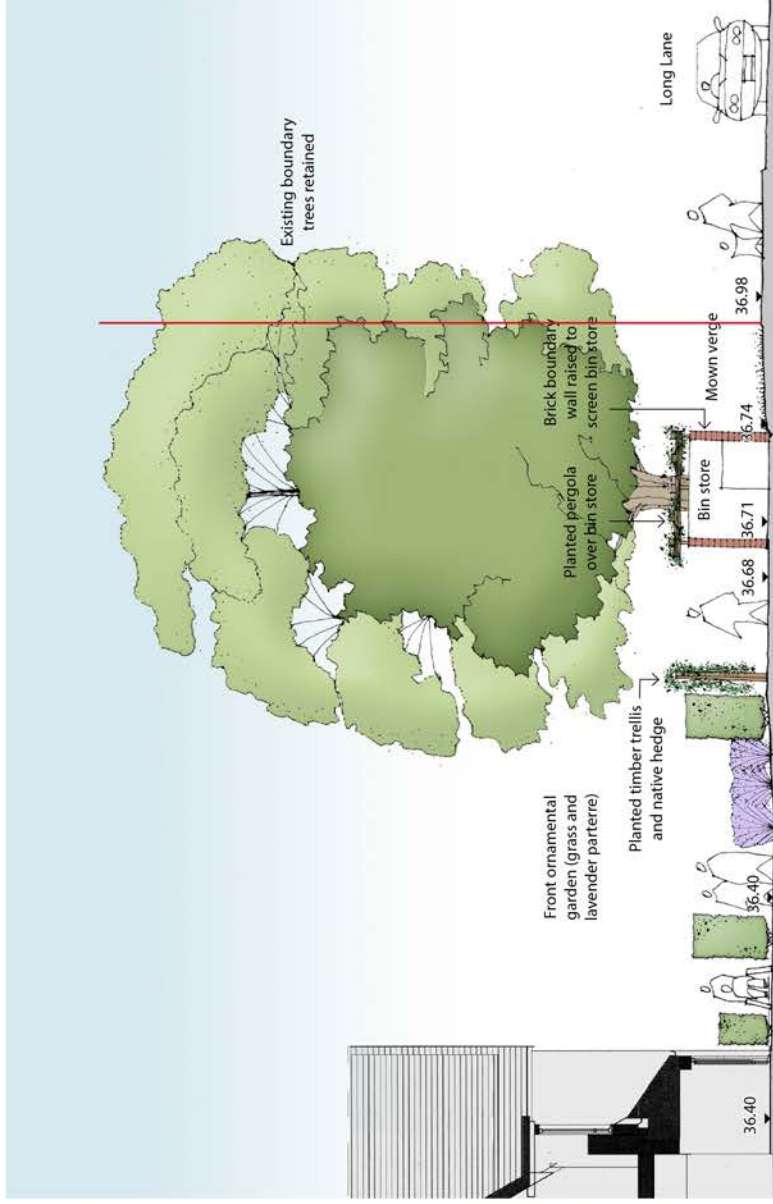
18. Native shrub and under storey to reinforce green buffer along boundaries

19. Lawn
20. Resin bound gravel path
21. Sensory garden
22. Green house/Storage
23. Activity area/Kitchen vegetable garden with compost
24. Orchard
25. Seating/Picnic area
26. Cycle parking
27. Pergola with climbing plants



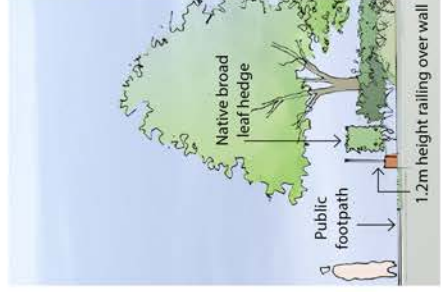


- Key**
1. Footpath
 2. New gate/maintenance access
 3. Mown verge
 4. Brick boundary wall
 5. Bin store
 6. New gate
 7. 1.2m height railing over wall and native broad leaf hedge clipped to top of railings
 8. Existing timber close board fencing and native evergreen hedge and trees
 9. Ornamental grass and lavender parterre
 10. Private patio
 11. Climbing plants against 1.8m height timber trellis and native broad leaf hedge and trees
- Site boundary



Section aa

(for illustrative purposes only)



Detail 1: Typical wall section
(for illustrative purposes only)



date	rev	revised by	checked	author

drawn	checked	author

scale	1:300

date	06/27/14

title	Figure Ground

no	AA-578/1005

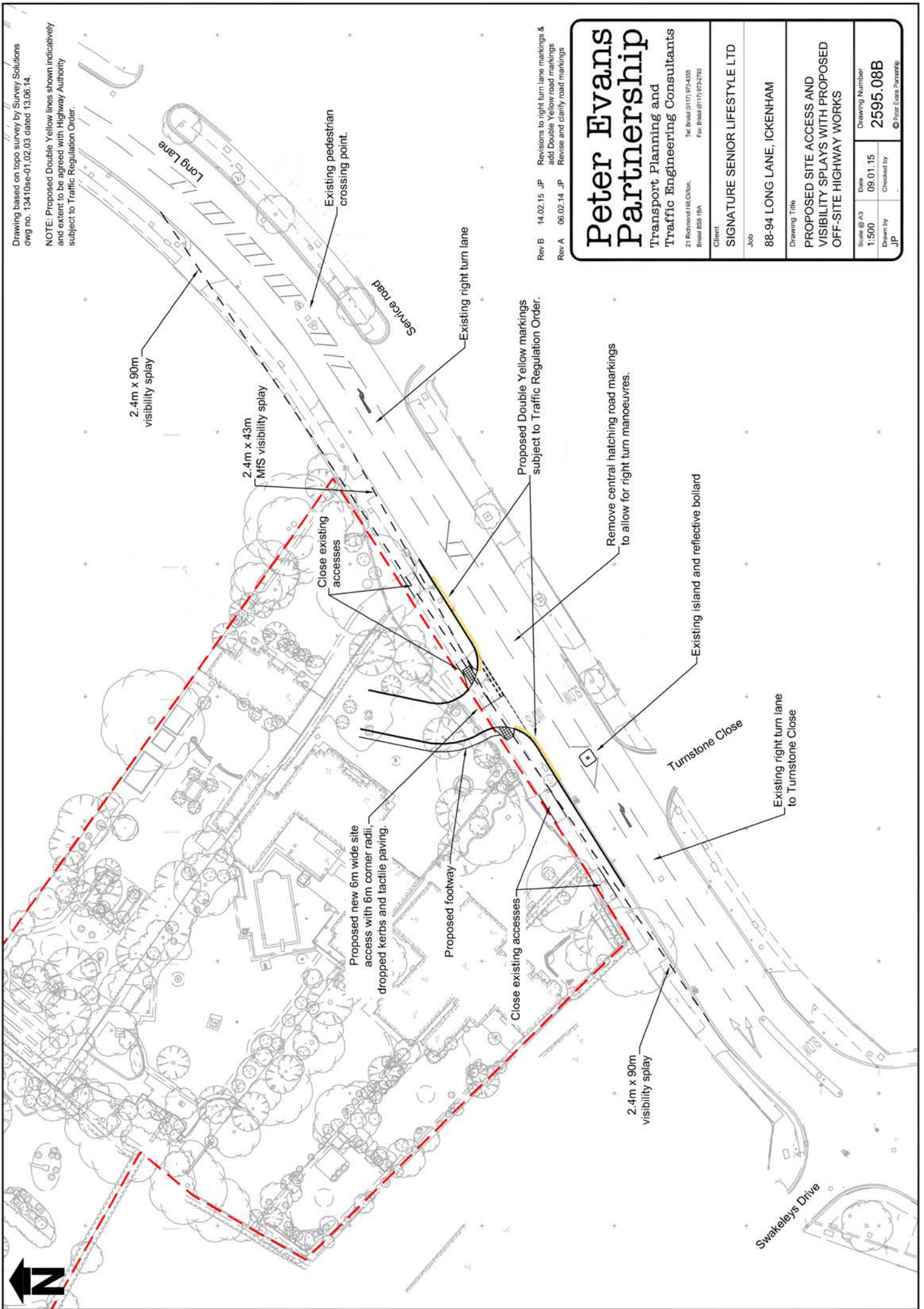
rev	

rev	

Site Plan Proposed 1-500
1:300

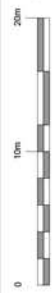
Drawing based on topo survey by Survey Solutions
 dwg no. 13410sc-01.02.03 dated 13.06.14.

NOTE: Proposed Double Yellow lines shown indicatively
 and extent to be agreed with Highway Authority
 subject to Traffic Regulation Order.



Rev B 14.02.15 JP Revisions to right turn lane markings &
 add Double Yellow road markings
 Rev A 06.02.14 JP Revise and clarify road markings

<h1>Peter Evans Partnership</h1> <p>Transport Planning and Traffic Engineering Consultants</p> <p>21 Richmond Hill Clifton, Bristol BS8 1BA Tel: Bristol (0117) 973-4055 Fax: Bristol (0117) 973-2793</p>	
Client	SIGNATURE SENIOR LIFESTYLE LTD
Job	88-94 LONG LANE, ICKENHAM
Drawing Title	PROPOSED SITE ACCESS AND VISIBILITY SPLAYS WITH PROPOSED OFF-SITE HIGHWAY WORKS
Scale @ A3	1:500
Date	09.01.15
Drawn by	JP
Checked by	
Drawing Number	2595.08B
© Peter Evans Partnership	

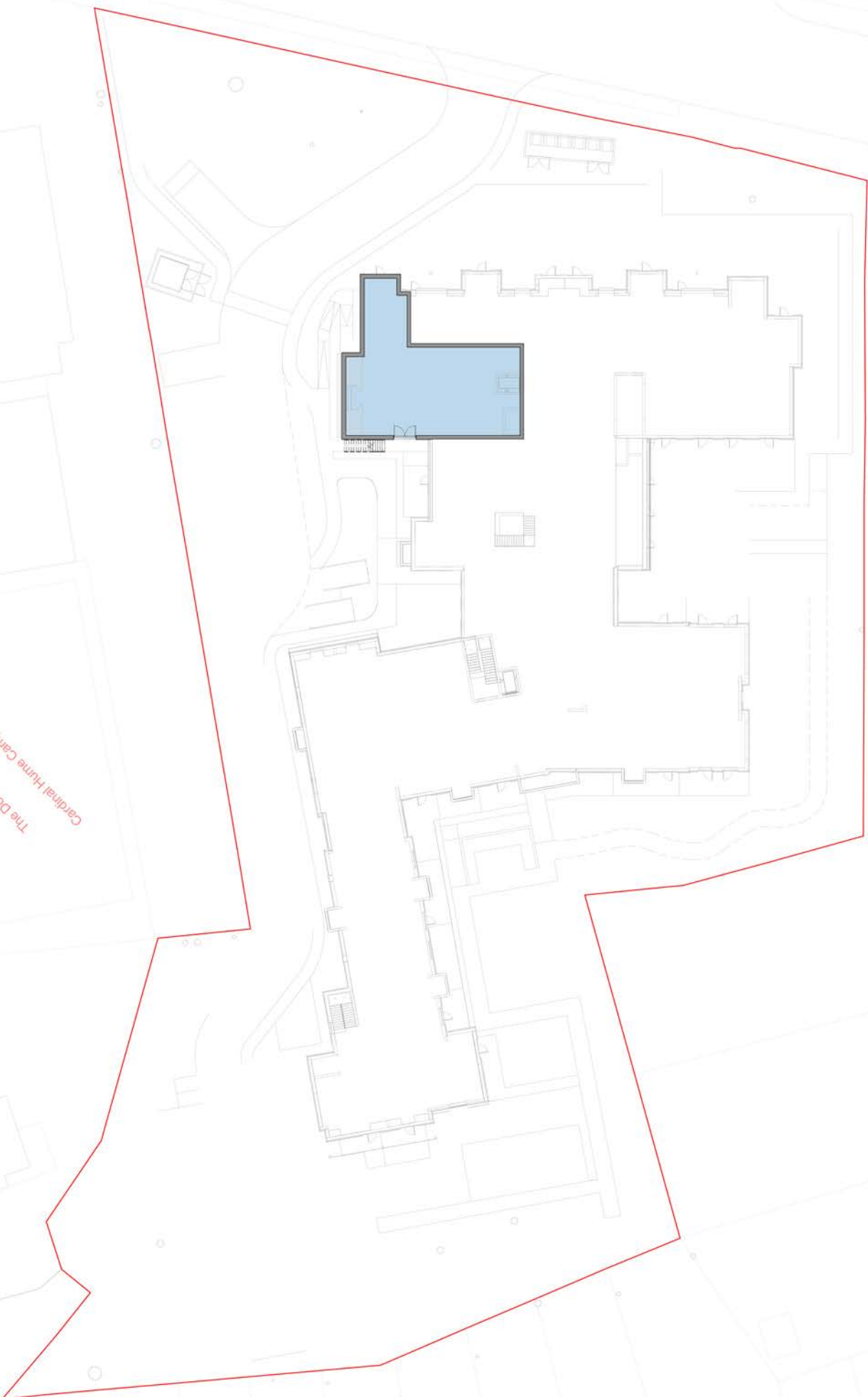


LONG LANE

121

The Douay Martyr
Cardinal Hume Campus

7a



13/09/14 - A - General Update - CJP - JP	
date	rev
	revised/author/checker

drawn	CJP
checked	JP
scale	1:200
date	06/08/13
title	Basement
drawing no	AA-078/2004
rev	A



Basement
1:200

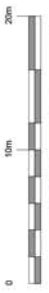
Signature
The place to build the house

lokenham



Key

- Accommodation
- Auxiliary
- Communal
- Staff



14-01-2014 G
 08-02-2015 G
 08-12-2014 C
 24-02-2014 G
 24-02-2014 G
 First Floor

DATE	REV	REVISION/DESCRIPTION	DRAWN	CUP

checked IP
 scale 1:200
 date May 2014

IBC First Floor
 drawing no AM-078/2006 rev E
 date May 2014





Key

- Accommodation
- Ancillary
- Commercial
- Staff

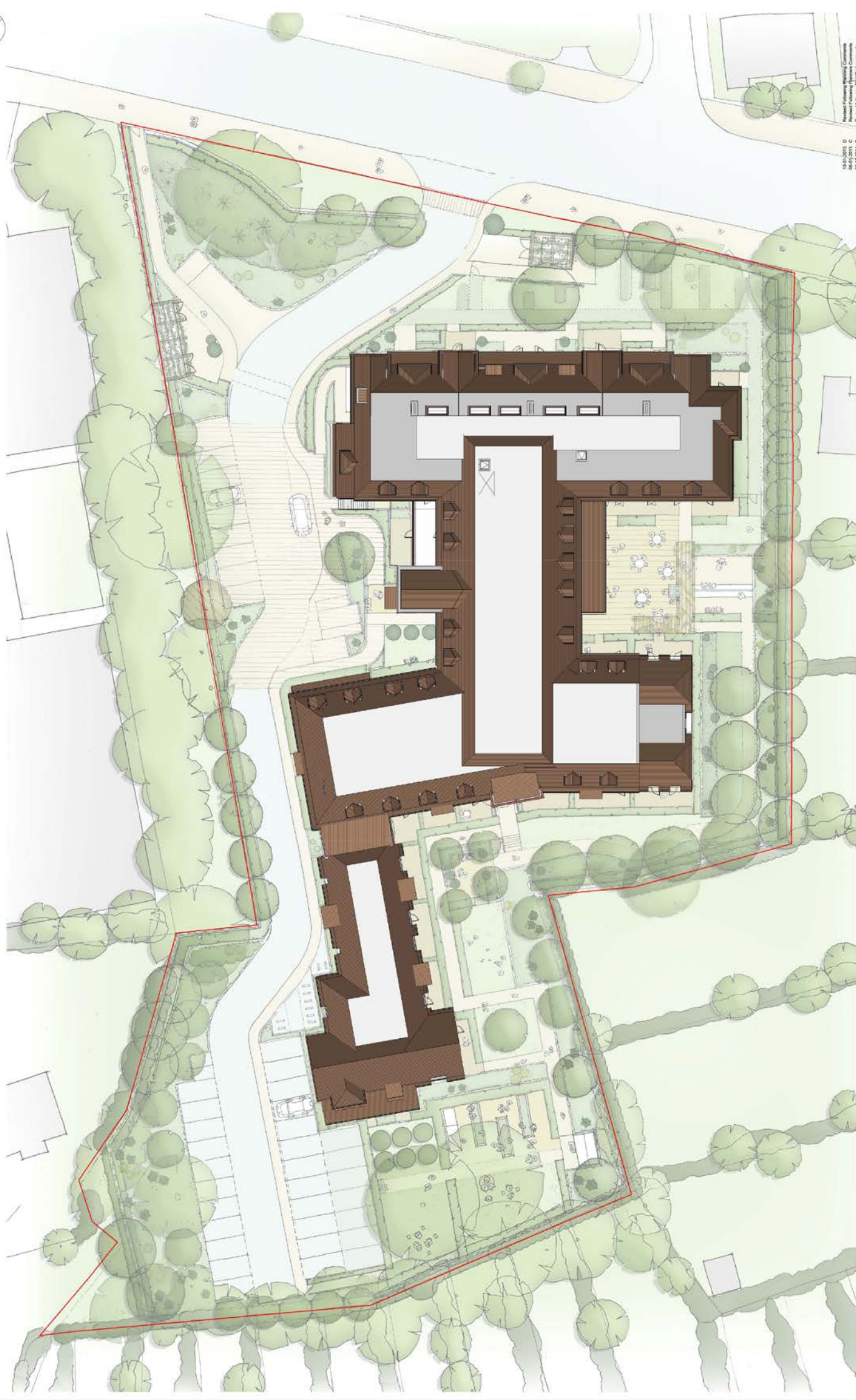


10-12-2013 D
 08-12-2014 C
 08-12-2014 C
 24-02-2014 A
 24-02-2014 A
 First Floor

drawn CJP
 checked SH
 scale 1:200
 date May 2014

Second Floor
 drawing no AM-378/2007 rev E





18-01-2013 D
 08-01-2013 C
 15-02-2014 A
 18-02-2014 B
 First Issue

Revised Following Planning Comments
 Revised Following Planning Comments
 Revised Following Planning Comments
 Revised Following Planning Comments

DATE REV BY REVISIONS/DESCRIPTION

drawn CJP
 checked JP
 scale 1:200
 date 06/2013

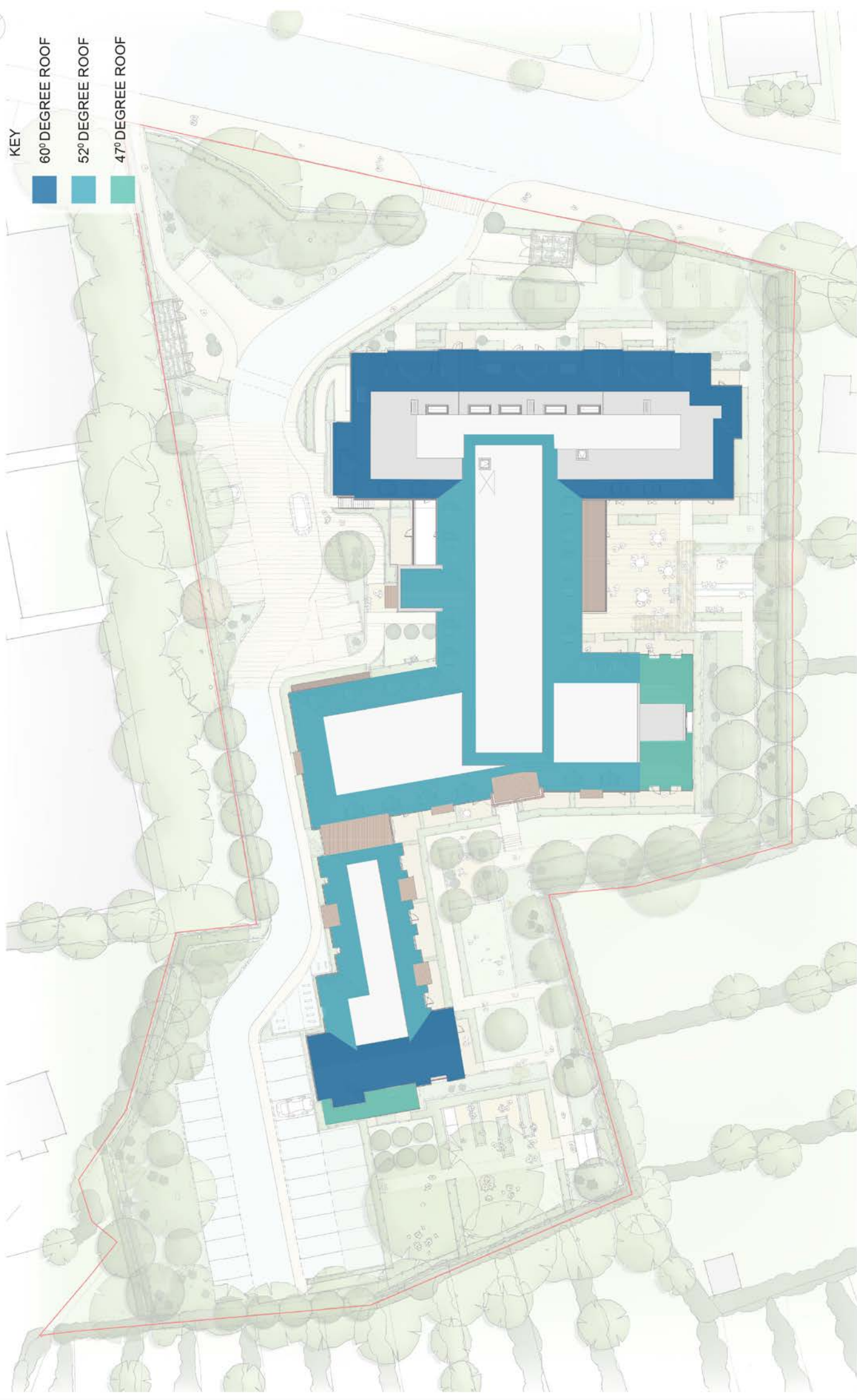
drawing no AA-078/2008 rev D
 date 06/2013

inc Roof Plan

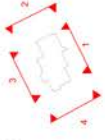




- KEY**
- 60° DEGREE ROOF
 - 52° DEGREE ROOF
 - 47° DEGREE ROOF



KEY:



Elevation 1
Dormy House

Elevation 2

Elevation 3

Elevation 4



Elevation 5
Long Lane 94 & 92

Elevation 6

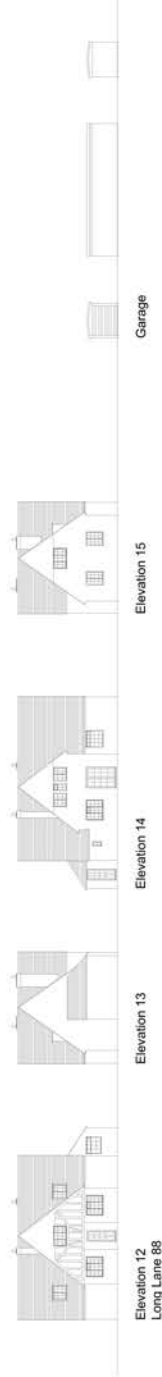


Elevation 7
Long Lane 90

Elevation 8

Elevation 9

Elevation 10



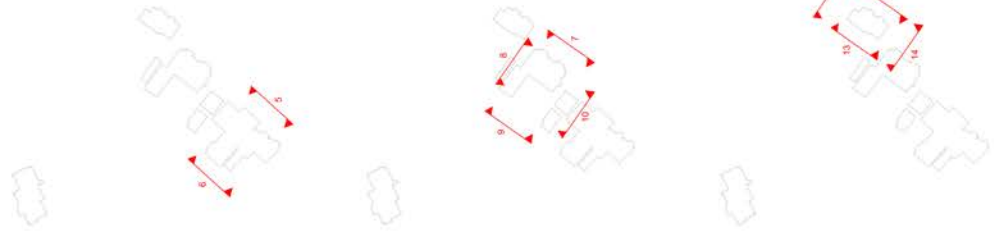
Elevation 12
Long Lane 88

Elevation 13

Elevation 14

Elevation 15

Garage



Long Lane, Ickenham
Existing Properties Elevations

title	Long Lane, Ickenham Existing Elevations	drawn	JP
checked	IP	checked	IP
scale	1:200 @ A1	scale	1:200 @ A1
drawing no	AA4378/2020	date	August 14

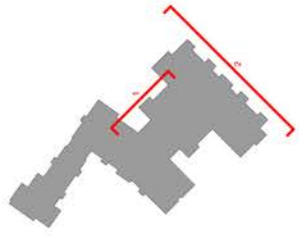




Elevation 1 - East Entrance Courtyard



Elevation 2 - South Elevation Long Lane



Key Plan
1:100

KEY

ROOF

Dark brown clay tile roof. Conservatory roof regions will be formed structural steel frame with polycarbonate panels. Conservatory roof regions will be formed with a steel frame with polycarbonate panels. Conservatory roof regions will be formed with a steel frame with polycarbonate panels. Conservatory roof regions will be formed with a steel frame with polycarbonate panels.

DOORWAYS

Door frames will be zinc plated with either plain tin plated or galvanized steel or zinc plated steel.

WALLS

Off white painted render with smaller elements of red facing brickwork at ground level. Red facing brickwork will be used for the ground floor level of the brickwork above the building.

WINDOWS

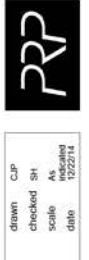
Frames to windows and glazing would be either coated aluminum colored off white. Window sills will be formed using tin creating with a course of tiles over the zinc work.

ROOF & BALUSTADING

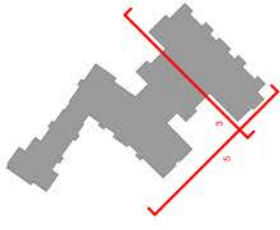
Roofs to be finished in tin creating with zinc work and glazing to match windows. Balustrading would be composed of powder coated silver beam section and a glass upper section to a total 2m height.

19-01-2015 A CJP SH

date	rev	revision	checked	scale	date
19-01-2015	A	CJP SH	SH	As Issued	12/2/14



Elvelton Sheet 1
 drawing no AA-378/2015
 rev



Key Plan
1 : 1000

KEY

ROOF
Dark brown clay tiles. Conservatory roof verges will be covered in copper. All roof pitches will be covered in the same tiles. The roof pitch of the conservatory will be 10°. The roof pitch of the main building will be 12°. The roof pitch of the dormers will be 12°. The roof pitch of the dormer windows will be 12°. The roof pitch of the dormer windows will be 12°. The roof pitch of the dormer windows will be 12°.

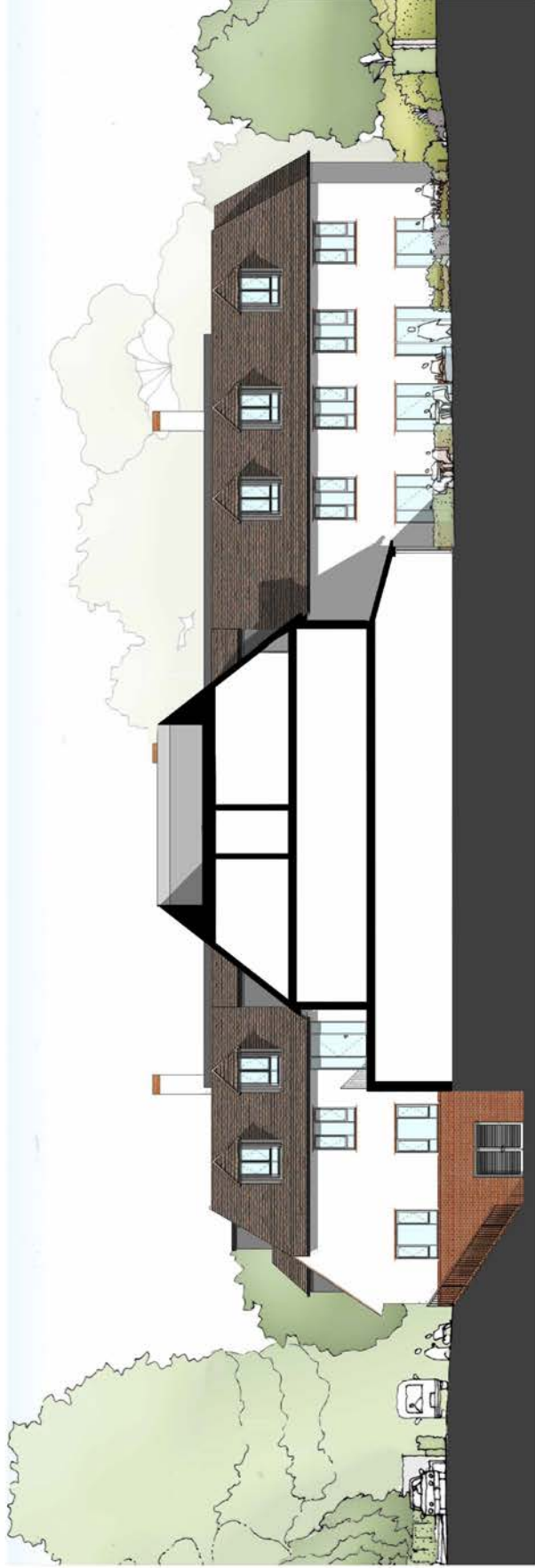
DORMERS
Dormer windows will be 1200mm wide with either plain or gabled roofs or flat zinc roofs.

WALLS
Off white painted render with smaller elements of red facing bricks at the base of the chimney and the base of the building.

WINDOWS
Frames to windows and glazing would be colour coated aluminium coloured off white. The window frames will be finished using the same material with a colour of this color.

DOORS & GLAZING
Doors to be finished in zinc, glazing with zinc, doors and glazing to match windows. Aluminium would be colour coated aluminium coloured off white and a glass upper section to 1200mm height.

DOORS & GLAZING
Doors to be finished in zinc, glazing with zinc, doors and glazing to match windows. Aluminium would be colour coated aluminium coloured off white and a glass upper section to 1200mm height.



Elevation 3 - North Courtyard



Elevation 5 - West Elevation Garden Courtyard

19-01-2015 A CJP SH

date: 19-01-2015
rev: A
revision: 19-01-2015

drawn: CJP
checked: SH
scale: As shown
date: 12/22/14

drawing no: AA-578/2016
rev: 1

Project: Elvelton Street 2

Client: ikenham

Signature
The place to build at home

PRP



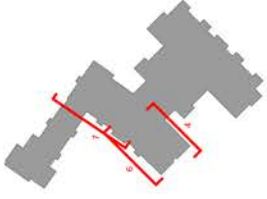
Elevation 4 - Southern Garden Courtyard



Elevation 7 - North Elevation Sensory Garden



Elevation 6 - North Elevation Sensory Garden



Key Plan
1:1000

KEY

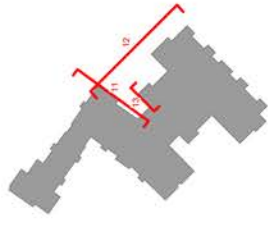
- ROOF**
Dark brown clay plain tile roof. Generally roof verges will be formed using profile roof tiles. The roofline will be finished with a decorative cornice. The roofline will be finished with a decorative cornice. The roofline will be finished with a decorative cornice. The roofline will be finished with a decorative cornice.
- EXTERIOR WALLS**
White rendered finish with window surrounds of red facing brickwork at first floor level. The ground floor will be finished with a decorative cornice. The roofline will be finished with a decorative cornice.
- WINDOWS**
Frames to windows and glazing would be colour coated aluminium finished off with. Window cills will be formed using the existing with a course of blue over the top.
- DOORS & GLAZING**
Glass doors and glazing with grey steel and glazing to match windows. The glazing would be composed of powder coated silver frame section and a glass top section to a total 200 height.



Elevation 11 - South Entrance Courtyard



Elevation 12 - East Entrance Courtyard



Key Plan
1:1000

KEY

ROOF

Deck lower clay tiles flat roof. Generally roof areas will be formed using cedar boarded steel framed barge boards. Hipped roofs will have boarded tiles. Cladding to be installed on roof areas to be finished with a dark stain to match fascia. Floor will have exposed timber rafters in a dark stain to match fascia.

DOORWAYS

Door frames made by zinc coated with either plain iron hipped or galvanized steel or aluminium.

WALLS

On white painted masonry with smaller elements of red facing brickwork at low level and in small sections. Piers on either side of the main entrance to the courtyard of the brickwork same to the building.

WINDOWS

Windows to be made by zinc coated with either plain iron hipped or galvanized steel or aluminium. Windows will all be timber sash, but covering with a colour of zinc coated window frame.

BAYS & MULLIONING

Bays to finished in zinc panning with zinc coats and glazing to match windows. Mullions to be made by zinc coated with either plain iron hipped or galvanized steel or aluminium. Mullions to be made by zinc coated steel floor section and a glazed upper section to a total 20' height.



Elevation 13 - North Entrance Lobby

19-01-2015 A C/P SH

date rev revision/author/describe

drawn CUP

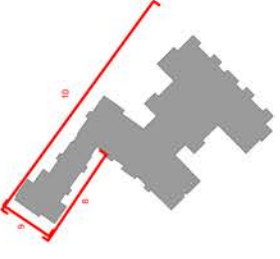
checked SH

scale As Appointed

date 12/22/14

drawing no AM-078/2019 rev

12/22/14



Key Plan
1:1000

- KEY**
- ROOF**
Dark brown clay tiles (except dormer roof which will be formed using zinc or zinc coated roof tiles with smaller elements of red being introduced at the eaves using plain tile cream). Flashing to eaves will be formed using zinc or zinc coated roof tiles with smaller elements of red being introduced at the eaves using plain tile cream.
- DORMERS**
Dormer windows will be formed using zinc or zinc coated roof tiles with smaller elements of red being introduced at the eaves using plain tile cream.
- WALLS**
Roof dormers would be zinc faced with other plain tile topped or galvalume or zinc roof.
- WINDOWS**
Frames to windows and glazing would be colour coated aluminium coloured off white. Window sills will be formed using zinc or zinc coated roof tiles with smaller elements of red being introduced at the eaves using plain tile cream.
- DOORS & GLAZING**
Doors to be formed in zinc or zinc coated roof tiles with smaller elements of red being introduced at the eaves using plain tile cream. Glazing to be formed using zinc or zinc coated roof tiles with smaller elements of red being introduced at the eaves using plain tile cream.



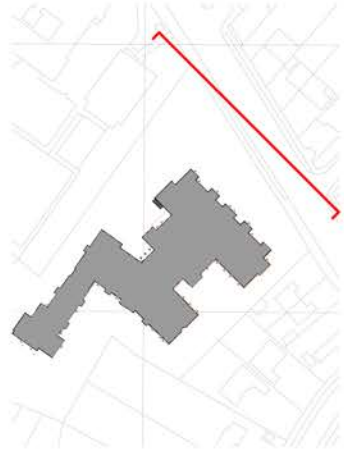
Elevation 9 - North Rear Garden



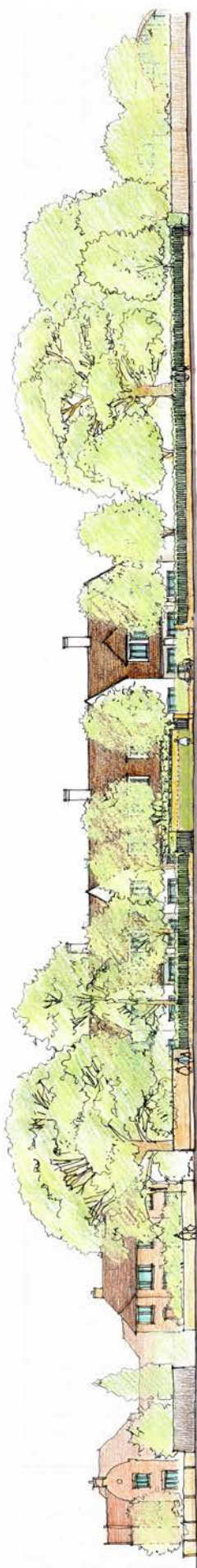
Elevation 8 - West Sensory Garden



Elevation 10 - North Entrance Road



Key Plan



Long Lane Street Elevation - With trees as proposed



Long Lane Street Elevation - Without trees to reveal elevation

date	rev	revision	author	checker

drawn	cup	checked	ip

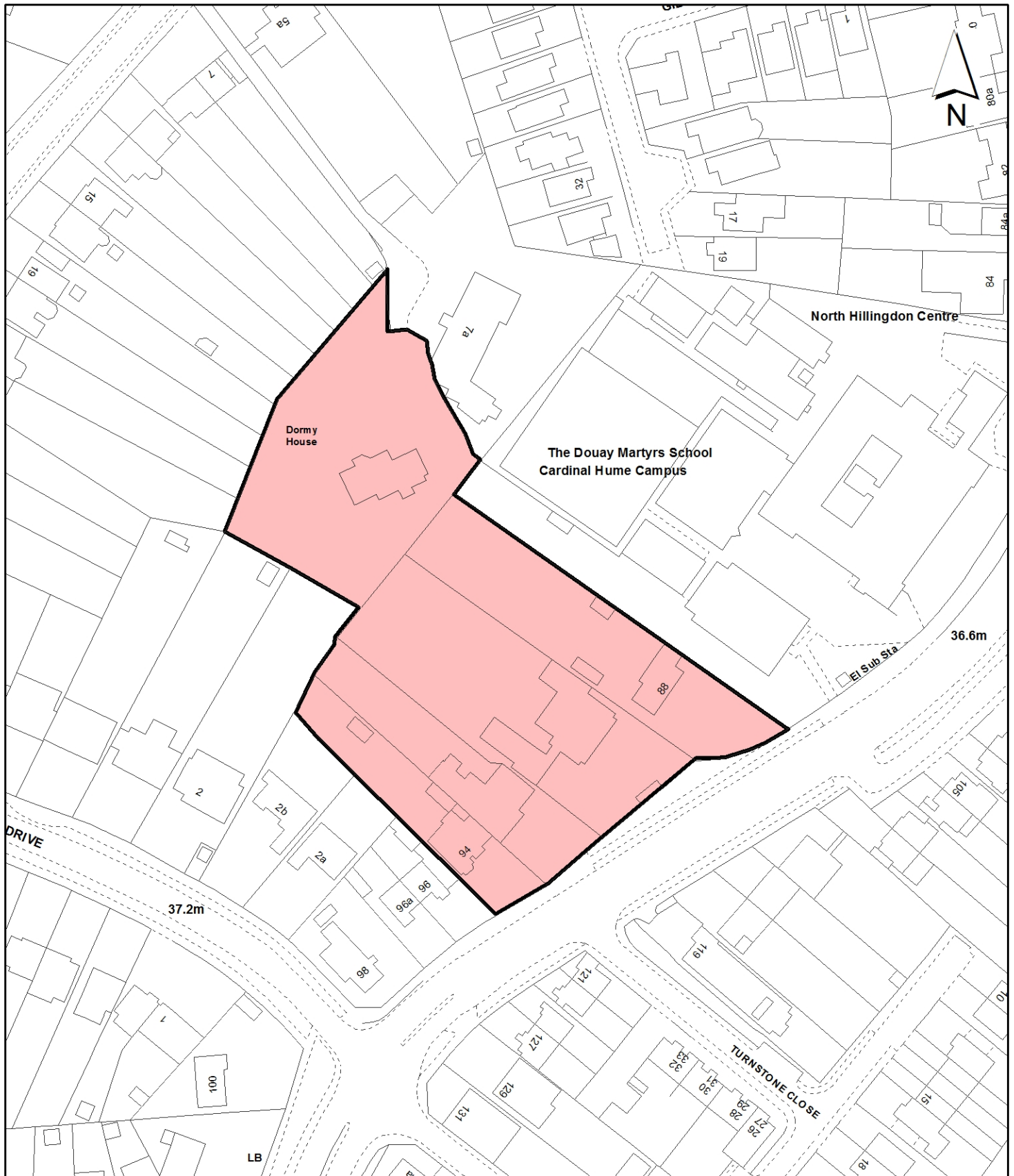
scale	As	As	As



date	06/08/13

title	Street Elevations

drawing no	AA-078/2011

rev	



<p>Notes</p> <p> Site boundary</p> <p>For identification purposes only.</p> <p>This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act). Unless the Act provides a relevant exception to copyright.</p> <p>© Crown copyright and database rights 2015 Ordnance Survey 100019283</p>	<p>Site Address</p> <p style="text-align: center;">88-94 Long Lane Ickenham</p>		<p>LONDON BOROUGH OF HILLINGDON</p> <p>Residents Services Planning Section</p> <p>Civic Centre, Uxbridge, Middx. UB8 1UW Telephone No.: Uxbridge 250111</p>
	<p>Planning Application Ref:</p> <p style="text-align: center;">52129/APP/2014/2996</p>	<p>Scale</p> <p style="text-align: center;">1:1,250</p>	
	<p>Planning Committee</p> <p style="text-align: center;">Major</p>	<p>Date</p> <p style="text-align: center;">March 2015</p>	
			

Report of the Head of Planning, Sport and Green Spaces

Address HAYES AND HARLINGTON STATION STATION ROAD HAYES

Development: Application under Schedule 7 of the Crossrail Act 2008 for the approval of Plans and Specifications associated with the erection of a new station building external lift shaft, footbridge with lift shafts, extension of platforms 2/3 and 4/5 with canopy modifications, new waiting room to Platform 4/5 and associated lighting.

LBH Ref Nos: 10057/APP/2014/4338

Date Plans Received: 09/12/2014

Date(s) of Amendment(s):

Date Application Valid: 09/12/2014

1. Information shown in this Drawing has been compiled from a site visit and is intended to be used in conjunction with information provided by Network Rail. Network Rail does not accept liability for any errors or omissions. All dimensions are in metres unless specified otherwise.

- NOTES:**
- EXISTING TRACK DRAINAGE TO BE CLEANED AND PROVED AT TIME OF CONSTRUCTION.
 - LIFT PIT DIMENSIONS, LOADS ON PIT, FOUNDATION, B.W.C. OPENINGS AND CAST-IN FININGS TO BE CONFIRMED PENDING APPOINTMENT OF LIFT CONTRACTOR.
 - ALL FOOTBRIDGE FOUNDATIONS TO HAVE 100mm THK. EXP. POLYSTYRENE TO ALL SIDES.
 - TOP OF ALL FOUNDATIONS IN PLATFORM TO BE 800mm BELOW PLATFORM LEVEL AS PER DETAIL ON DRAWING No. WSN1B-ECV-DRG-AEA-000270

LEGEND

	EXISTING
	PROPOSED
	REMOVED

Issue No.	Issue Date	Issued For	Drawn	Checked	Author	Subsidiary
01	17/09/12	ISSUED FOR REVIEW	MS	JS	JS	S3
02	17/09/12	ISSUED FOR REVIEW	MS	JS	JS	S3
03	17/09/12	ISSUED FOR REVIEW	MS	JS	JS	S3

FOR FORM A REVIEW



Project: WSN1B
 WEST STATIONS - OUTER/INNER
 ESTATES (LAND & PROPERTY)

Drawing Title: HAYES & HARLINGTON STATION
 PLAN FOR APPROVAL
 PROPOSED PLATFORM WORKS
 GENERAL ARRANGEMENT PLAN

Drawn	Checked	Approved	Scale	Revision
J. NUGENT	M. GRAY	J. STRATTON	1:500	1 of 1
				MLN1

Drawing Number: WSN1B-ALL-DRG-AEA-000270
 Sheet: A03



SITE LOCATION PLAN
 SCALE 1:500 @ A1



GENERAL ARRANGEMENT PLAN



TO LONDON
 TO COUNTRY

City (Use Only for Approval)
 State (Use Only for Approval)
 Local (Use Only for Approval)



WSN1C-EAR-DRG-BEN-000252
 Project Number

WSN1C-EAR-DRG-BEN-000255

WSN1C-EAR-DRG-BEN-000257
 WSN1C-EAR-DRG-BEN-000258

WSN1C-EAR-DRG-BEN-000252

WSN1C-EAR-DRG-BEN-000252

WSN1C-EAR-DRG-BEN-000252

WSN1C-EAR-DRG-BEN-000252

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WSN1C-EAR-DRG-BEN-000252

WSN1C-EAR-DRG-BEN-000252

WSN1C-EAR-DRG-BEN-000252

Legend/Notes

1. Information shown in this Drawing has been compiled based on survey data collected by ACCOM Limited in accordance with the relevant standards and in accordance with the 2005/05 Civil Aviation Authority Licence.
2. Consistent to the 2005/05 Civil Aviation Authority Licence.
3. All dimensions are in metres unless specified otherwise.

Safety, Health and Environmental Information

Notes below are additional to hazards/risks normally associated with this type of work.

All references below are to Hazard Log WSN1B-MPM-ASS-AEA-000020

Construction

C. H&H(2) Passenger circulation conflicts with stair construction

Ci. H&H(1) Temporary instability of proposed bridge

Operations

O. H&H(1) Signal visibility obscured by construction works

Maintenance

M.

Disassembly/Demolition (E,structure)

D.

These notes are based on the use of experienced and qualified staff working in accordance with the work log on an approved safe method of working.

LEGEND

EXISTING

PROPOSED

REMOVED

Rev	Date	Description of Revisions	Drawn	Check	Appr	Submittal
MS	JS	JS	MS	JS	MS	JS
MS	JS	JS	MS	JS	MS	JS

FOR FORM A REVIEW

Submittal

S3



Consent/Ref

Project

WSN1B
WEST STATIONS - OUTER/INNER
ESTATES (LAND & PROPERTY)

Drawing Title

HAYES & HARLINGTON STATION
PLAN FOR APPROVAL
PROPOSED PLATFORM 2 / 3
EXTENSION

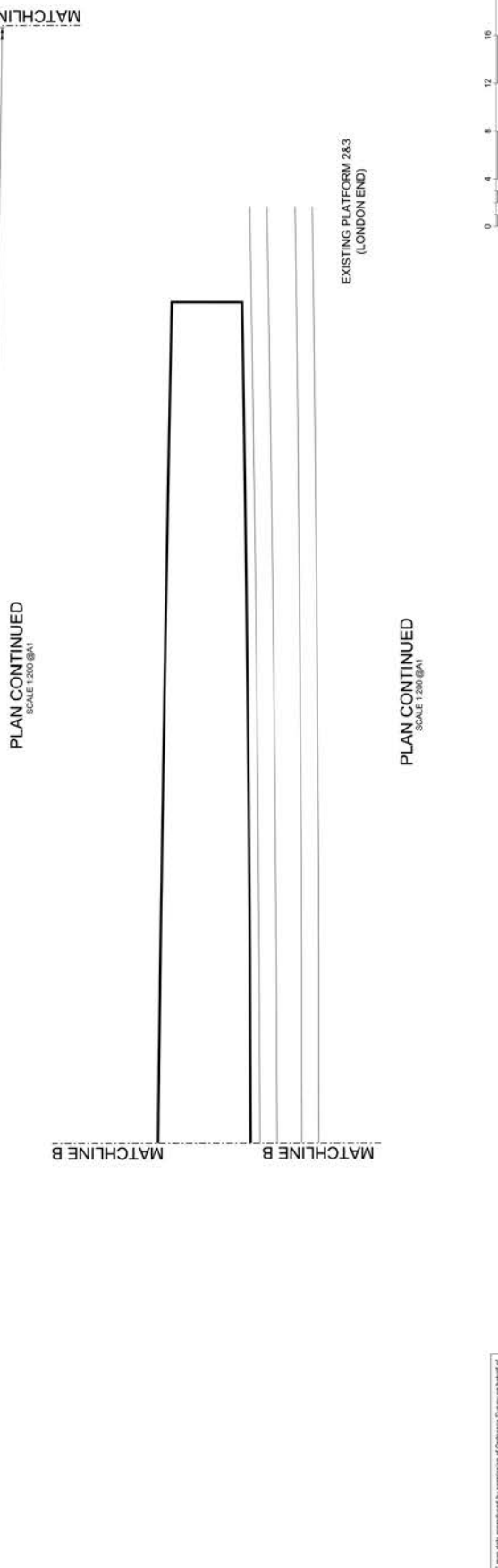
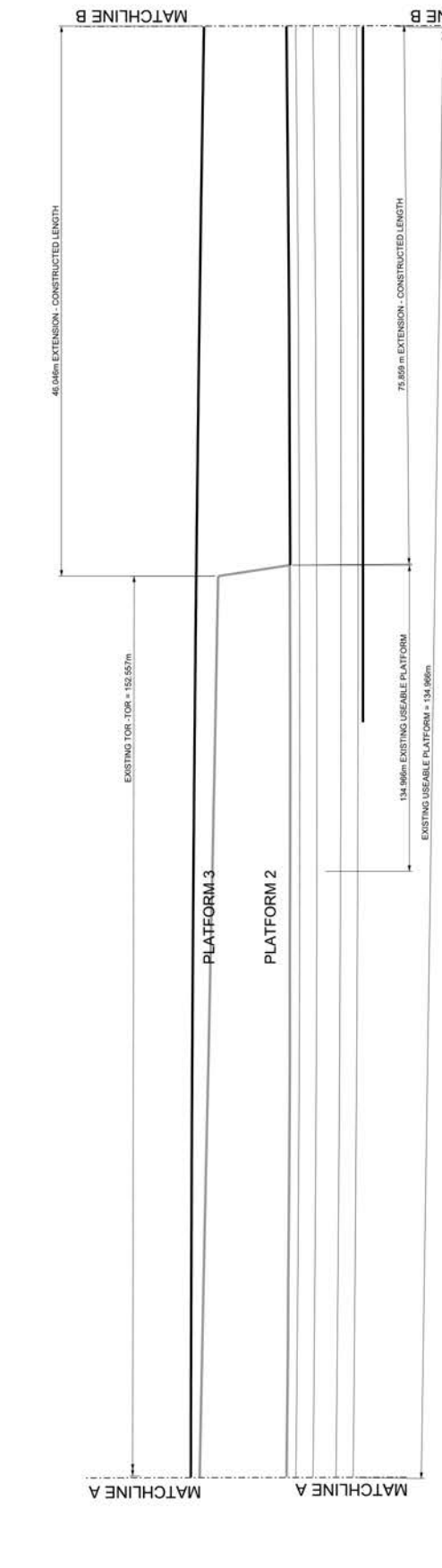
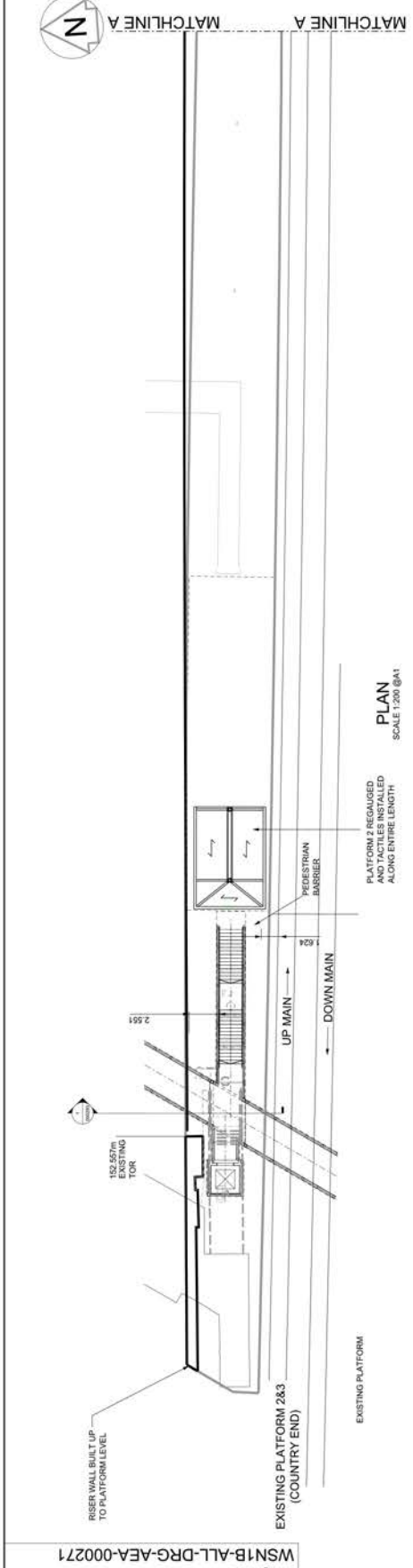
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Drawn	M. GRAY	Signal	Date	17/09/12
Checked	J. STRATTON	Signal	Date	17/09/12
Approved	J. STRATTON	Signal	Date	17/09/12
Scale	1:200	MLN1	Scale	1:200

Sheet Number
1 of 1

Revision
A02

WSN1B-ALL-DRG-AEA-000271

Sheet Size A1 594 x 841



PLAN CONTINUED
SCALE 1:200 @A1

PLAN CONTINUED
SCALE 1:200 @A1

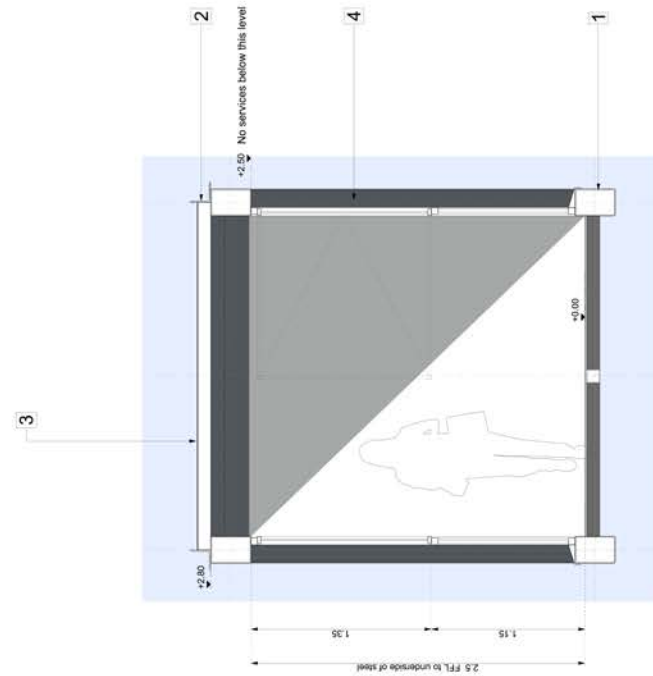
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SCALE 1:200

05: map data reproduced by permission of Ordnance Survey on behalf of the Controller of Her Majesty's Stationery Office. Ordnance Survey licence number 100049002.

Safety, Health and Environmental information
 This drawing contains information that is normally associated with the type of work.
 All references below are to Hazard Log
 WSN1B-MPM-ASS-AEA-000018
 Construction
 C: Not applicable
 CH
 Operations
 O: Not applicable
 OL
 Maintenance
 M: Not applicable
 ML
 Diminishing/Diminution (Future)
 D: Not applicable
 DL

These notes are based on the site of experienced and competent contractors carrying out the work using an approved safe method of working.

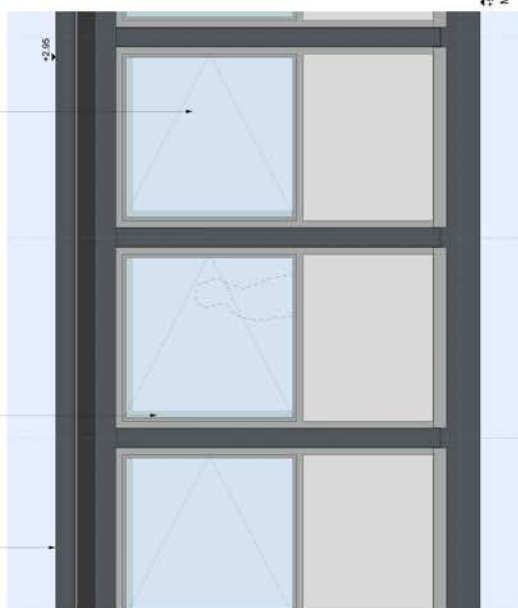
Other Discipline References:
 For Bridge Structures layouts, please refer to drawing
 Action
 WSN1B-EAR-DRG-AEA-00002002
 Holes & Markings
 WSN1B-EAR-DRG-AEA-00007072
 Southall
 WSN1B-EAR-DRG-AEA-00022022
 West Drayton
 WSN1B-EAR-DRG-AEA-00020023
 West Ealing
 WSN1B-EAR-DRG-AEA-000120122



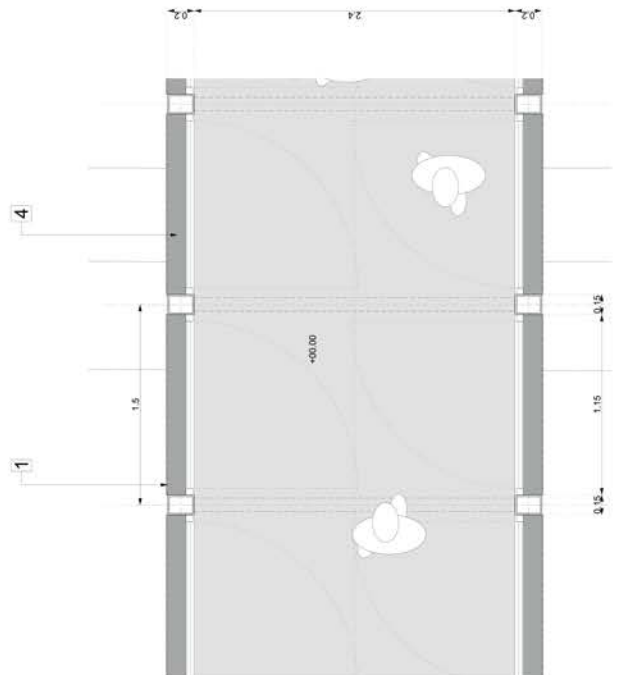
CROSS SECTION

Please refer to services engineer's drawings for site specific structural layout.

- 1 Exposed Steel Frame
SHS Columns and T-beams with dark grey paint finish RAL 7015
- 2 Steel Angle Trim to Road Overhang (500 x 500mm) with dark grey paint finish RAL 7015
- 3 Trapezoidal metal profile roof decking
e.g. Kingspan K5200RNV, design life 60+ years or similar approved.
- 4 WINDOW
Galvanneal steel frame with solid galvanneal steel infill panel.
e.g. Cristal Corporate W20, design life 60+ years, or similar approved



ELEVATION



PLAN



Rev	Date	Description of Revisions	Drawn	Check	Substantive
A08	06/06/12	Issued for Vehicle Station PFRs	FR	DM	A.
A07	13/04/12	Issued for Vehicle Station PFRs	FR	DM	A.
A06	28/07/12	Issued for Vehicle Station PFRs	FR	DM	A.
A05	23/03/12	Issued for Vehicle Station PFRs	FR	DM	A.
A04	09/01/12	Issued for Vehicle Station PFRs	FR	DM	A.
A03	13/12/11	Issued for West Drayton Station PFR	FR	DM	A.
A02	07/02/11	Issued for Action Main Line Station PFR	FR	DM	A.
A01	07/02/11	Issued for Vehicle Station PFRs	FR	DM	A.

FOR FORM A REVIEW

S3



Comments(0)

Project
WSN1B
WEST STATIONS - OUTER/INNER
ENGINEERING - ARCHITECTURE

Drawing Title
STANDARD FOOTBRIDGE
PLAN FOR APPROVAL
PROPOSED BAY STUDY
TYPICAL SPAN

Designated	Signed	Date
Drawn	PRODMAN	06/06/12
Checked	EMARCHANT	06/06/12
Approved	JLIPCOMBEE	06/06/12
Scale(s)	1:20	MLN1
Abbreviation Reference		

Safety, Health and Environmental information
 This drawing has been prepared in accordance with the standards normally associated with this type of work.
 All references below are to Hazard Log
 WSN1B-MPM-ASS-AEA-000018

Construction
 C: Not applicable

Ch.
 Operations
 O: Not applicable

CL
 Maintenance
 M: Not applicable

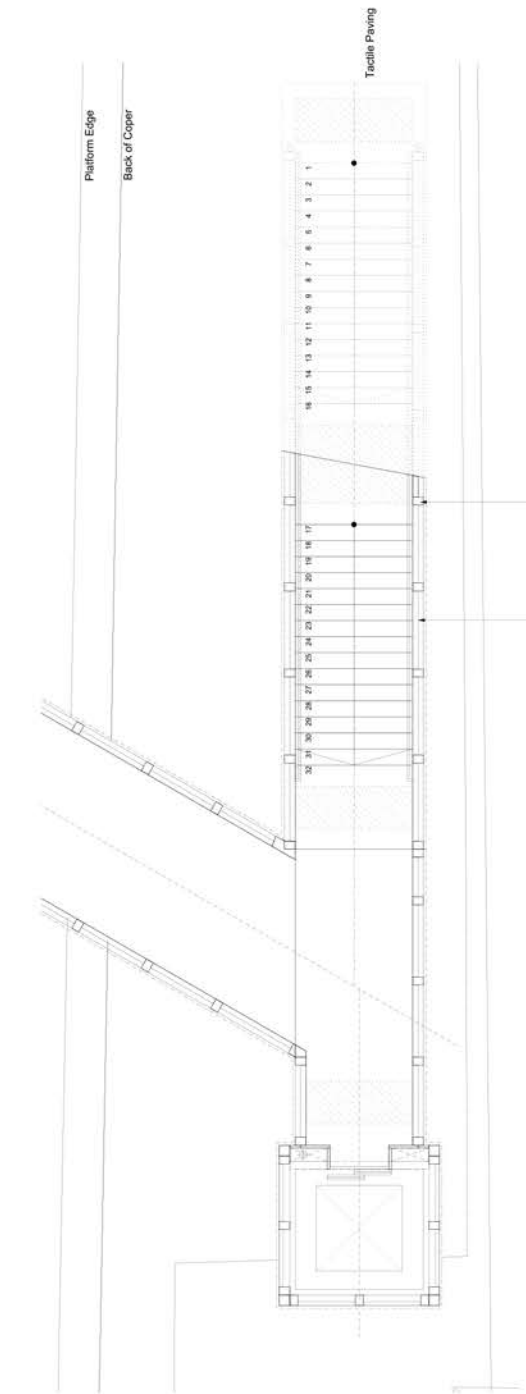
ML
 Diminishing/Dismantle (Future)
 D: Not applicable

DL
 These notes are based on the site of experienced and competent contractors carrying out the work using an approved safe method of working.

Other Discipline References:
 For Bridge Structures layouts, please refer to drawing:

Action
 WSN1B-EST-DRG-AEA-000020022
 Hayes & Harlington
 WSN1B-EST-DRG-AEA-000070272

Southall
 WSN1B-EST-DRG-AEA-000020222
 West Drayton
 WSN1B-EST-DRG-AEA-000030323
 West Ealing
 WSN1B-EST-DRG-AEA-000120122



PLAN



ELEVATIONS

- 1 Exposed Steel Frame
SHS Columns and T-beams with dark grey paint finish RAL 7015
- 2 Steel Angle Trim to Roof Overhang (500 x 50mm)
with dark grey paint finish RAL 7015
- 3 Tripartite metal grille roof decking
e.g. Kroggan KS200(RW), design life 40+ years or similar approved.
- 4 WINDOW
Alu-framed glass roof frame with rigid polycarbonate sheet (50mm)
e.g. Citilux Corporate W20, design life 60+ years, or similar approved
- 5 Precast Concrete Panel
Lift motor room and shaft support at low level



Rev	Date	Description of Revisions	Author	Check	By	A.
A02	11/05/12	Issued for PA	AK	DM	AK	A.
A01	11/05/12	Issued for PI	DM	DM	DM	A.

Station
 SHARED - (G4) FORM D AUTH S4



Continued

Project
WSN1B
WEST STATIONS - OUTER/INNER
ENGINEERING - ARCHITECTURE

Drawing Title
HAYES & HARLINGTON STATION
PLAN FOR APPROVAL
PROPOSED BAY STUDY
TYPICAL STAIRCASE

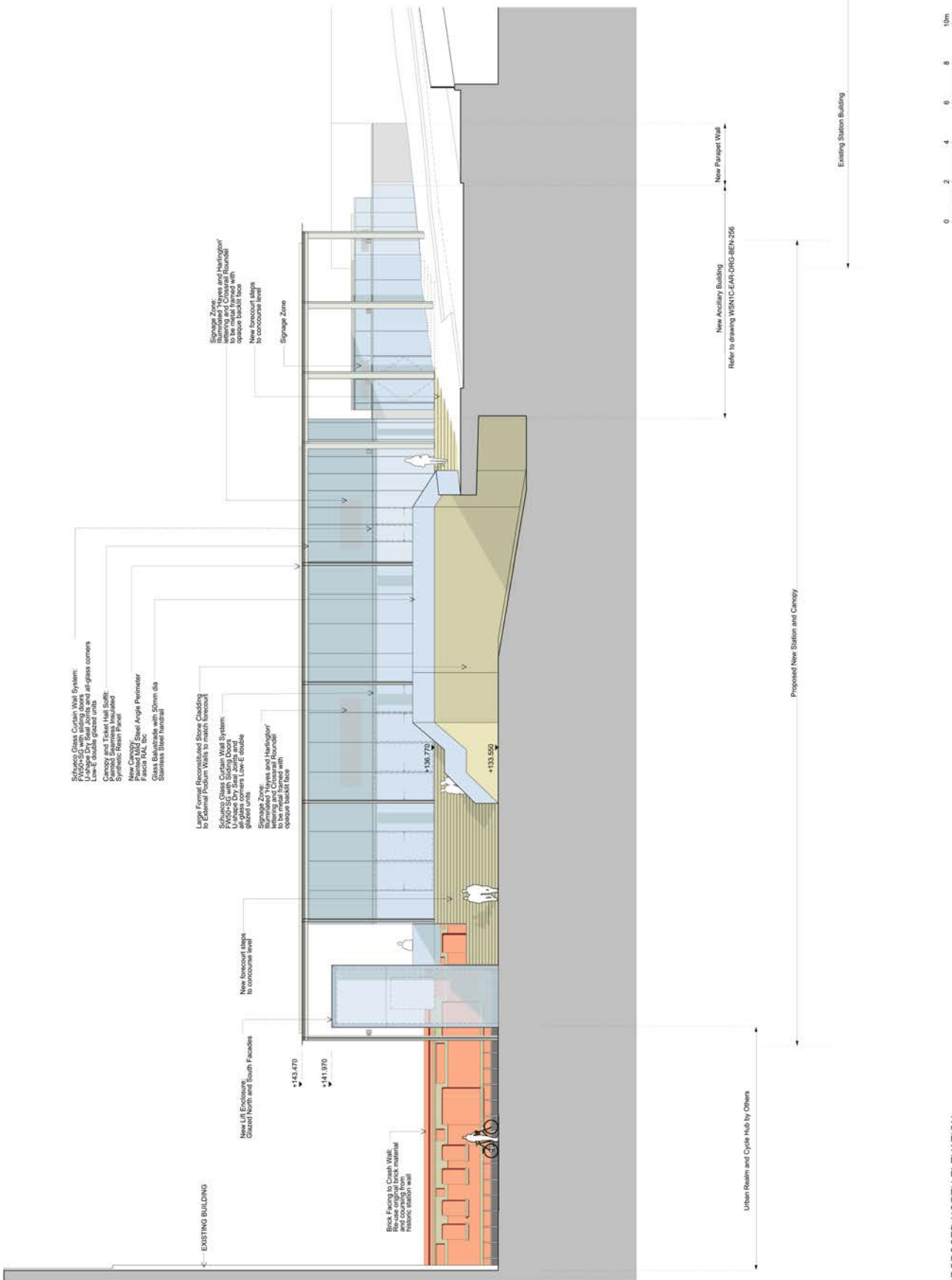
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PRODWAN	Signat	05/11/12	PRODWAN	05/11/12
ABOOLE	Signat	05/11/12	EMRICHAND	05/11/12
JLPSOMBE	Signat	05/11/12	MLN1	05/11/12

Altitude Reference
 1:20

Sheet
 1 of 1

Drawing Number
WSN1B-EAR-DRG-AEA-000260 A02

- Gray Lines (Not for Approval)
- Light Gray Shading (New Structures Not For Approval)
- Dark Gray Shading (New Structures For Approval)



PROPOSED NORTH ELEVATION

Approval Required for Schedule 7

Rev	Date	Description of Revisions	Drawn	Check	Appr	Substanty
P12	18/11/14	ISSUED FOR APPROVAL	DD	TC	DA	
P01	18/07/14	ISSUED FOR APPROVAL	DD	TC	DA	
			DD	TC	DA	



Project
WSN1C
Crossrail West Stations - Bennetts
ENGINEERING - ARCHITECTURE

Drawing Title
HAYES & HARLINGTON STATION
PLAN FOR APPROVAL
PROPOSED BUILDING ELEVATION
NORTH

Designated	Signoff	Date
Drawn	D DONALDSON	18/11/14
Checked	T CARTER	18/11/14
Approved	D LANG	18/11/14
Scale(s)	1:100	
EIR & Message		

Sheet
 1 of 1
 Revision
 Drawing Number
WSN1C-99999-00-CR001-DDR-A-000255
WSN1C-EAR-DRG-BEN-000255 P.02

ULF Enclosure:
 Large Formal Metal Composite
 Anodized Panel, Colour Bc
 Vertical Grooved Mid Steel
 Rectangular Hollow Section
 to form structural truss with
 Schiaco glazing as subpoint
 Schiaco FVQ-SG with
 Low E double glazed units
 Weir Etrona and
 Low E double glazed units
 Proposed Footbridge
 Anodized Panel, Colour Bc
 Vertical Grooved Mid Steel
 Rectangular Hollow Section
 to form structural truss with
 Schiaco glazing as subpoint
 Schiaco FVQ-SG with
 Low E double glazed units

Back Facing to Crain Wall:
 material and covering from
 historic masonry wall
 PLATFORM 5
 +133.800

Schiaco Glass Curtain Wall System:
 FVQ-SG with Unclipped Dry Seal
 Low E double glazed units
 Covered Porcelain Stone Cladding
 Glass Substrate
 Stainless Steel horizontal

New Canopy:
 Painted Galvanized Mid Steel Angle
 Perimeter 150x150 Bc
 Schiaco Glass Curtain Wall System:
 FVQ-SG with Unclipped Dry Seal
 Low E double glazed units

Schiaco Glass Curtain Wall System:
 Unclipped Dry Seal Joints and all-glass corners
 Low E double glazed units
 ULF Enclosure, Large formal metal
 composite anodized panel colour Bc

Canopy and Ticket Hall Soffit:
 Painted Stainless Insulated Synthetic Resin Panel
 Column Mounted Luminaires:
 Existing provision along BRG
 Bega type 0917 with Colour Etrax Filters
 Glass substrate with 50mm dia
 Stainless Steel horizontal
 New Forecourt Steps to
 Concourse Level
 +136.770
 +133.550

EXISTING BUILDINGS

URBAN REALM AND CYCLE HUB BY OTHERS

CYCLE HUB BY OTHERS

Large Formal Reconcreted Stone Cladding to
 Existing Wall
 Full Height Aluminium Powder Coated
 Ventilation Louvre Panel RAL Bc
 Inset Glazing:
 Double-glazed glass with
 Double-glazed Low E Units
 Schiaco Glass Curtain Wall System:
 FVQ-SG with Unclipped Dry Seal Joints
 Low E double glazed units
 Painted Galvanized Mid Steel
 Composite Columns RAL Bc
 Inset Glazing:
 Double-glazed glass with
 Double-glazed Low E Units

Footbridge

New Staff Facilities and Footbridge Link Enclosure

Proposed New Station and Canopy

Station Square

PROPOSED EAST ELEVATION

SCALE 1:100

0 2 4 6 8 10m

- Legend/Notes
- Grey Lines (Not for Approval)
 - Dark Grey Shading (Structures Not for Approval)
 - Dark Grey Shading (New Structures For Approval)

Approval Required for Schedule 7

Rev	Date	Description of Revisions	Drawn	Chk'd	Appr'd	Substanty
P.02	18/11/14	ISSUED FOR APPROVAL	DD	TC	DL	
P.01	18/08/14	ISSUED FOR APPROVAL	DD	TC	DL	
		ISSUED FOR APPROVAL	DD	TC	DL	



Comments(0)

Project

WSN1C
 Crossrail West Stations - Bennetts
 ENGINEERING - ARCHITECTURE

Drawing Title

HAYES & HARLINGTON STATION
 PLAN FOR APPROVAL
 PROPOSED BUILDING ELEVATION
 EAST

Designated	Signed	Date
Drawn	O DONALDSON	18/11/14
Checked	T CARTER	18/11/14
Approved	DLAING	18/11/14
Scale(s)	1:100	6/1:6 Message

Revision
 CR_WSN1C-999999-00-CR001-DDR-A-000254 1 of 1
 Drawing Number
 WSN1C-EAR-DRG-BEN-000254 P.02
 Sheet

- Grey Lines (Not for Approval)
- Grey Shading (Structures Not for Approval)
- Dark Grey Shading (New Structures For Approval)

EXISTING BUILDINGS BEYOND

LINE OF EXISTING BUILDING

New Forecourt Steps to Concourse Level
Glass Balustrade with 50mm dia Stainless Steel handrail

Column Mounted Luminaires:
Exterior Protection Rating IP65
Beige type 6617 with colour affect filter.

New Lift Enclosure:
Lift Shaft East and West Facades:
Painted Galvalume Mid Steel
anodized panel - Colour: Bc

Schaeff Glass Curtain Wall System:
F750-SG with large doors to opening
Low-E double glazed units

New Canopy:
Painted Mid Steel Angle Perimeter
Fabric 100% PVC

Canopy and Ticket Hall Soft:
Painted Galvalume Mid Steel
Synthetic Resin Panel

Schaeff Glass Curtain Wall System:
F750-SG with large doors to opening
Low-E double glazed units

Signage Zone:
Summation 'Hayes and Harlington'
Signage to be formed with opaque backlit face

Glass Canopy
Signage Zone

Canopy:
Painted Galvalume Mid Steel
with large doors to opening
Low-E double glazed units

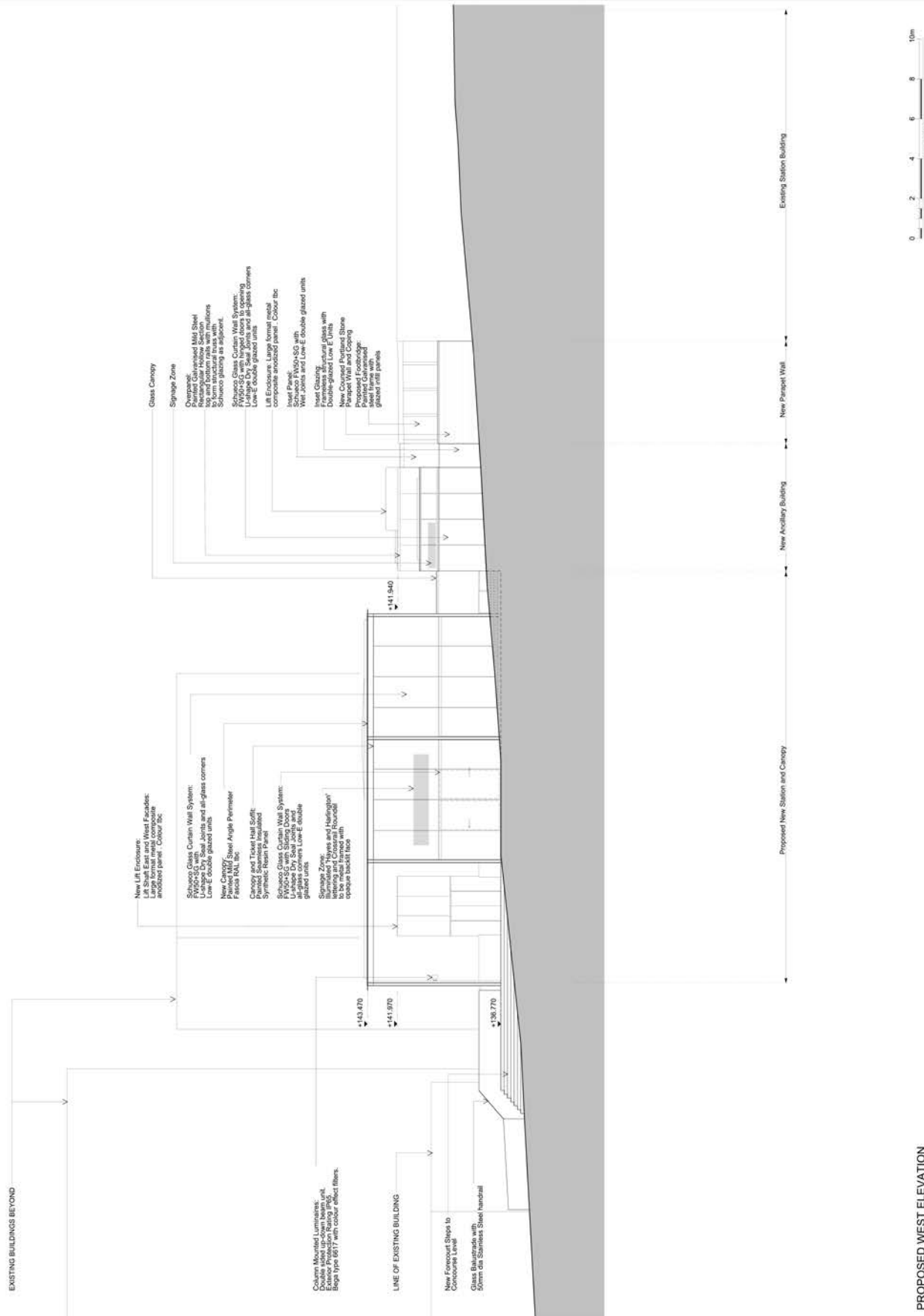
Schaeff Glass Curtain Wall System:
F750-SG with large doors to opening
Low-E double glazed units

Lift Enclosure: Large format metal
composite anodized panel - Colour: Bc

Inset Panel:
Painted Galvalume Mid Steel
with large doors to opening
Low-E double glazed units

Inset Glazing:
Painted Galvalume Mid Steel
with large doors to opening
Low-E double glazed units

New Canted Portland Stone
Parapet Wall and Coping
Painted Galvalume Mid Steel
with large doors to opening
Low-E double glazed units



PROPOSED WEST ELEVATION

Approval Required for Schedule 7

Rev	Date	Description of Revisions	Drawn	Check	Author	Substanty
P.2	18/11/14	ISSUED FOR APPROVAL	DD	TC	DL	
P.1	18/11/14	ISSUED FOR APPROVAL	DD	TC	DL	
1	18/11/14	ISSUED FOR APPROVAL	DD	TC	DL	



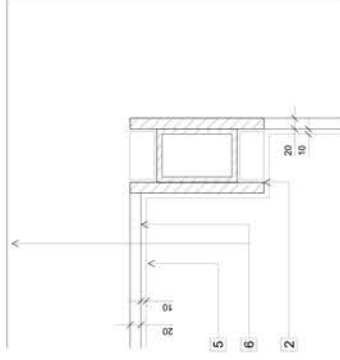
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Project
WSN1C
Crossrail West Stations - Bennetts
ENGINEERING - ARCHITECTURE

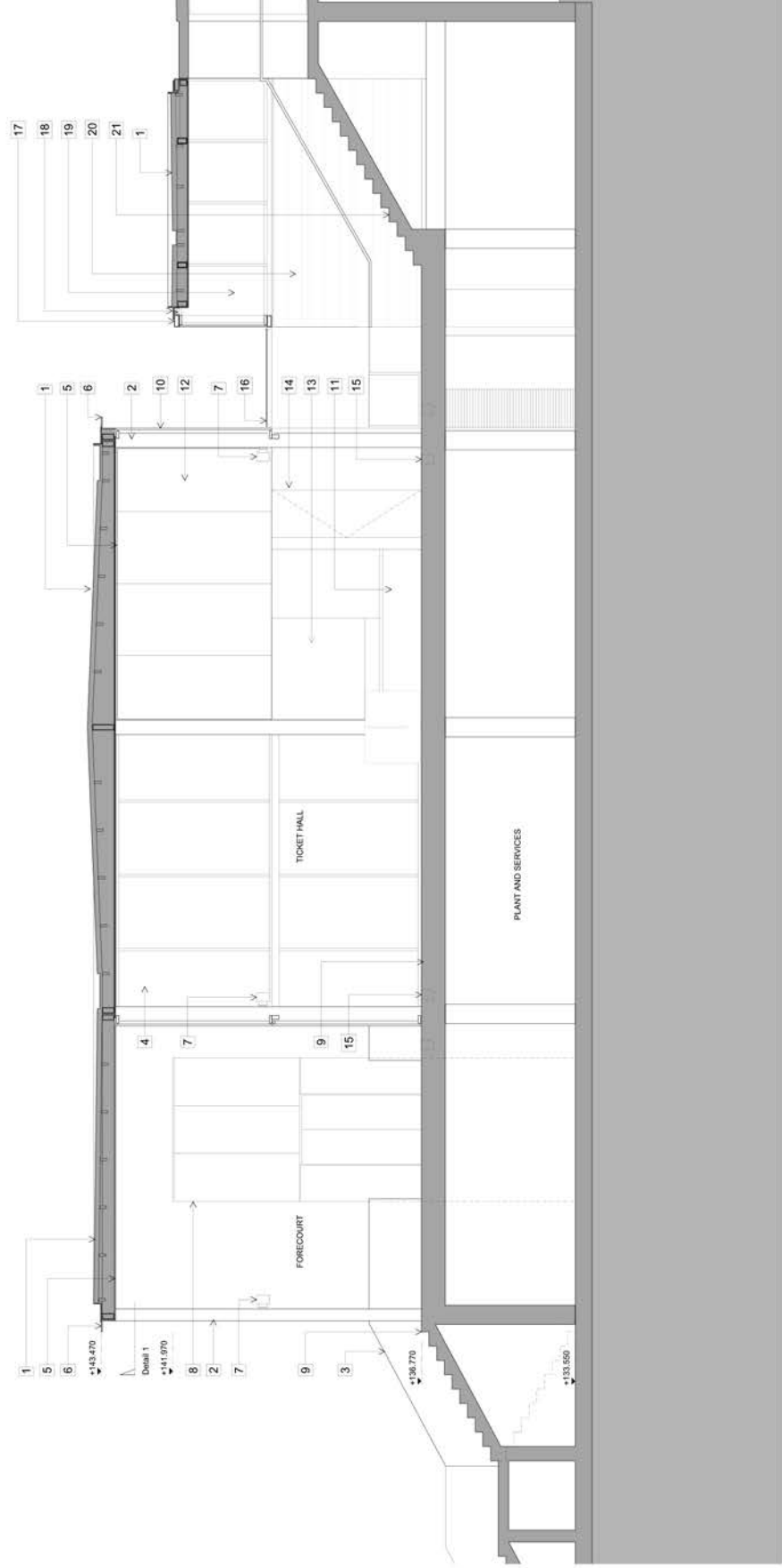
Drawing Title
HAYES & HARLINGTON STATION
PLAN FOR APPROVAL
PROPOSED BUILDING ELEVATION
WEST

Designated	Signed	Date	Sheet
Drawn	D DONALDSON	18/11/14	1 of 1
Checked	T CARTER	18/11/14	Revision
Approved	D LAING	18/11/14	
Scale	1:100		

Alteration Reference
CR_WSN1C-999999-00-CR001-DDR-A-000256
Drawing Number
WSN1C-EAR-DRG-BEN-000256 P.02



DETAIL 1 - CANOPY CORNER
Reflected Ceiling Plan detail 1:5



- Legend/Notes
- Grey Lines (Not for Approval)
 - Grey Shading (Structures Not For Approval)
 - Dark Grey Shading (New Structures For Approval)

- 1 Roof
Kingspan KS1000TD
- 2 Exposed Steel Frame
Painted Galvanneal Mild Steel Composite Columns
with steel Capri Detail. RAL 9005
- 3 Glass balustrade with 50mm dia Stainless Steel handrail
Kingspan KS1000TD
- 4 Schwaco Glass Curtain Wall System:
FV600-SG with sliding doors
Low-E double glazed units with frit pattern
- 5 Painted Structural Insulated Synthetic Resin Panel
Kingspan KS1000TD
- 6 New Proprietary Composite
Galvanneal Mild Steel Angle Perimeter Fascia
RAL 9005
- 7 Column Mounted Luminaires:
Bosch Lighting 17' ultra-thin slim. Exterior protection rating IP65
Bosch Lighting 17' ultra-thin slim. Exterior protection rating IP65
- 8 L&L Edge-on
Large format metal composite anodized panel. Colour: IBC
- 9 Exposed and Concealed Finishes:
Grey Limestone paving laid on bedding to
manufacturers recommendations
- 10 Schwaco Glass Curtain Wall System:
Dry Seal Joints
Low-E double glazed units with frit pattern to high level units
- 11 Anodised aluminium panel system. Colour: IBC
- 12 Schwaco Glass Curtain Wall System:
FV600-SG with Urastage Dry Seal Joints and opaque interlayer
RAL 9005
- 13 Schwaco Glazed Screen to Ticket Office
- 14 Laminated door and adjacent. Colour: IBC
- 15 In-ground Uplights:
Schwaco Lighting 3030 with Colour Effect Flares
Exterior Protection Rating IP65
- 16 Glass Canopy
- 17 Painted Galvanneal Mild Steel Rectangular Hollow Section
top and bottom rails with nutlons to form structural studs
- 18 Perimeter lighting recess with continuous diffuser
- 19 Schwaco Glass Curtain Wall System:
FV600-SG with Urastage Dry Seal Joints and all-glass corners
Low-E double glazed units with frit pattern
- 20 Coarsed Portland Stone cladding
- 21 New Steps to Footbridge

Approval Required for Schedule 7

Rev	Date	Description of Revisions	Author	Checked	Submittal
010	18/11/14	ISSUED FOR APPROVAL	DL	DL	
001	18/11/14	ISSUED FOR APPROVAL	DL	DL	



Project
WSN1C
Crossrail West Stations - Bennetts
ENGINEERING - ARCHITECTURE

Drawing Title
HAYES AND HARLINGTON STATION
PLAN FOR APPROVAL
PROPOSED BUILDING PLAN
SECTION

Designed	Drawn	Checked	Approved	Scale	Sheet
	D DONLADSON	T CARTER	D LAING	1:50; 1:5	1 of 1
					Revision
					CR_WSN1C-99999-00-CR001-DDR-A-000258
					WSN1C-EAR-DRG-BEN-000258 P.02

- Legend/Notes**
1. Information shown in this Drawing is the responsibility of the Designer.
 2. Information shown in this Drawing is the responsibility of the Designer.
 3. All dimensions are in meters unless specified otherwise.

Safety, Health and Environmental Information
Notes below are additional to hazards/risks identified in the Risk Assessment Report.
See structural design/risk assessment register WSN1B-EST-RAR-AEA-000005 & RAG register WSN1B-SOP-SCH-AEA-000007.

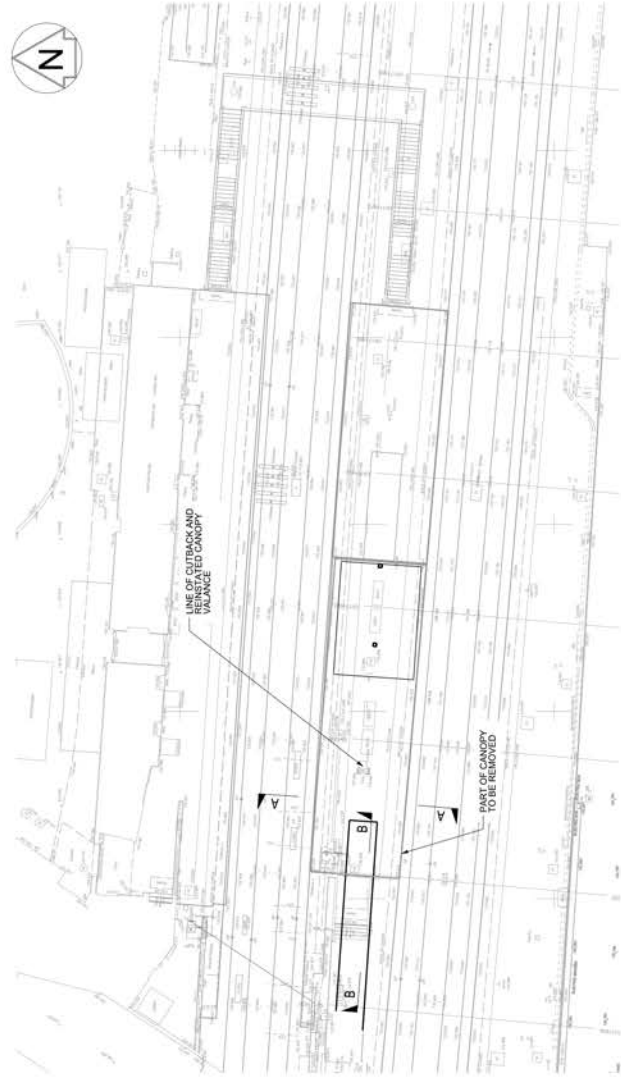
Construction
C. Canopy to be propped as necessary during demolition.

Operations
O. None

Maintenance
M. None

Dispersing/Demolition (Future)
Df. None

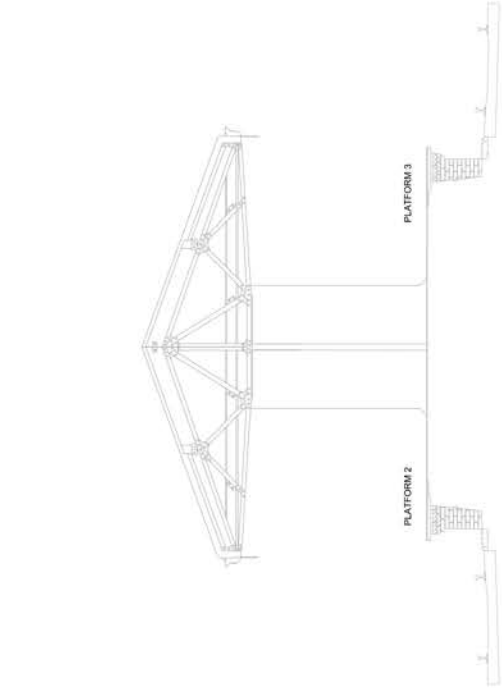
These notes are based on the use of experienced and competent contractors carrying out the work using an approved safe method of working.



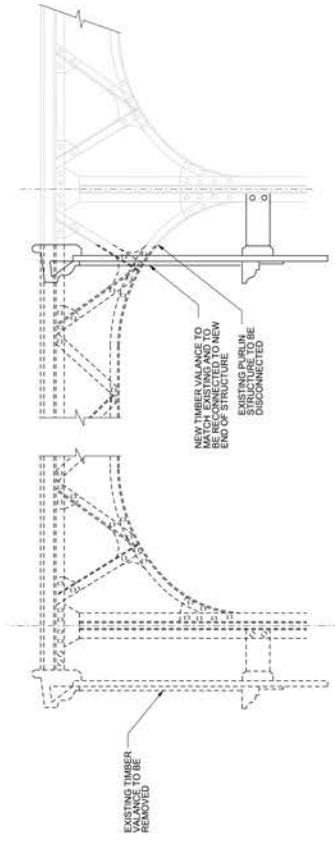
PROPOSED MODIFICATION ON EXISTING CANOPY PLAN
SCALE 1:200 @A1



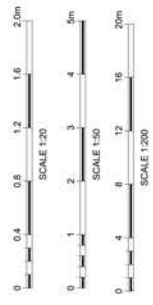
SITE PHOTO



SECTION A-A
SCALE 1:50 @A1



SECTION B-B
SCALE 1:20 @A1



Sheet	Date	Drawn	Checked	Design	Subsidiary
AS3	17/10/12	J. NUGENT	M. GRAY	J. STRATTON	S3
AS2	13/09/12	J. NUGENT	M. GRAY	J. STRATTON	S3
AS1	13/09/12	J. NUGENT	M. GRAY	J. STRATTON	S3



FOR FORM A REVIEW

Project: **WSN1B WEST STATIONS - OUTER/INNER ESTATES (LAND & PROPERTY)**

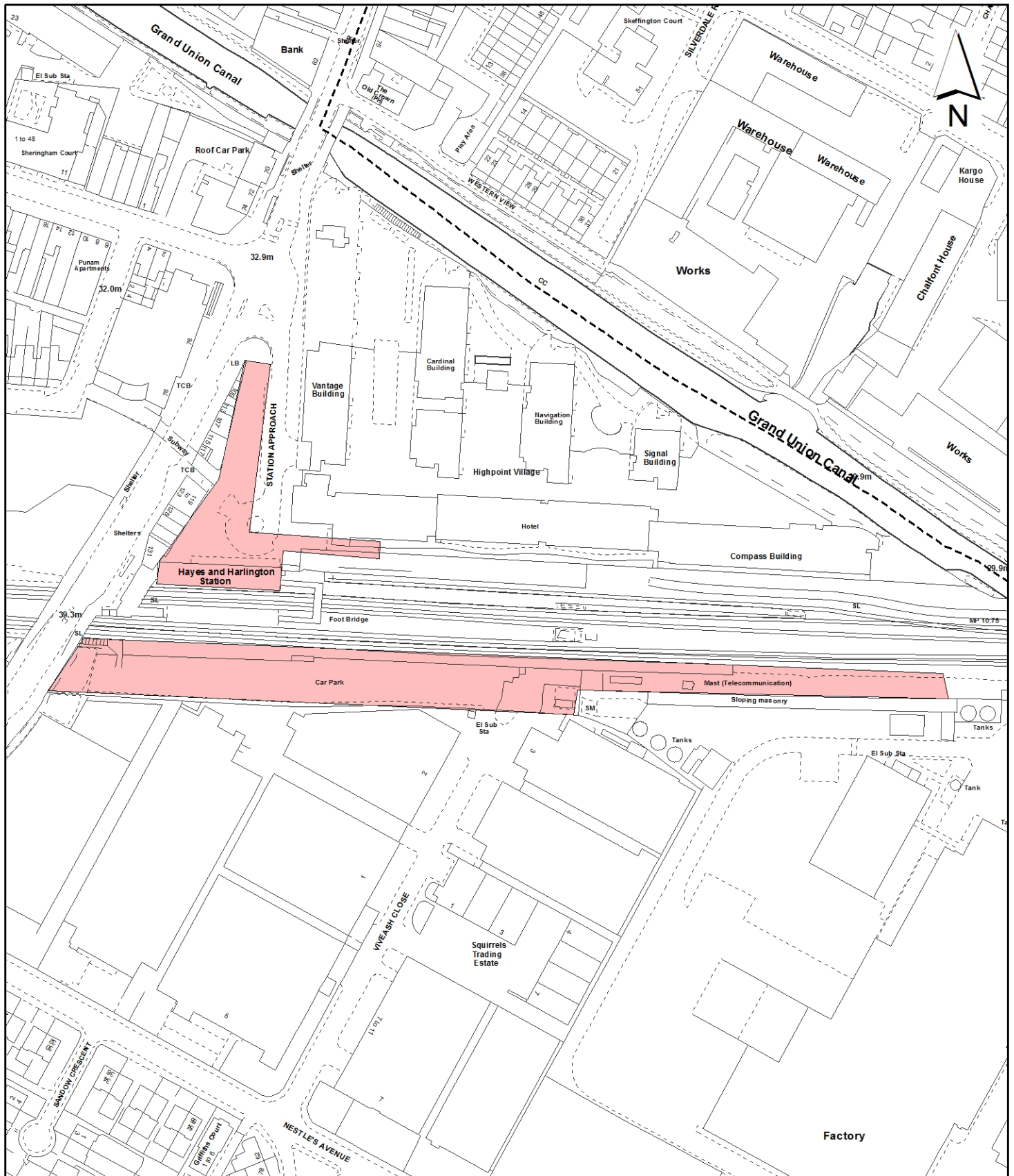
Drawing Title: **HAYES & HARLINGTON STATION PLAN FOR APPROVAL PROPOSED PLATFORM 2 / 3 CANOPY MODIFICATIONS**

Design	Drawn	Checked	Approved	Scale	Date	Signature
AS3	J. NUGENT	M. GRAY	J. STRATTON	1:200	17/10/12	J. NUGENT
AS2	J. NUGENT	M. GRAY	J. STRATTON	1:200	13/09/12	J. NUGENT
AS1	J. NUGENT	M. GRAY	J. STRATTON	1:200	13/09/12	J. NUGENT









Notes



Site boundary

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Site Address

**Hayes and Harlington
Station Road
Hayes**

**LONDON BOROUGH
OF HILLINGDON**

**Residents Services
Planning Section**

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111

Planning Application Ref:

10057/APP/2014/4339

Scale

1:2,000

Planning Committee

Major

Date

March 2015



HILLINGDON
LONDON

Report of the Head of Planning, Sport and Green Spaces

Address PRONTO INDUSTRIAL ESTATE AND 585 - 591 UXBRIDGE ROAD HAYES

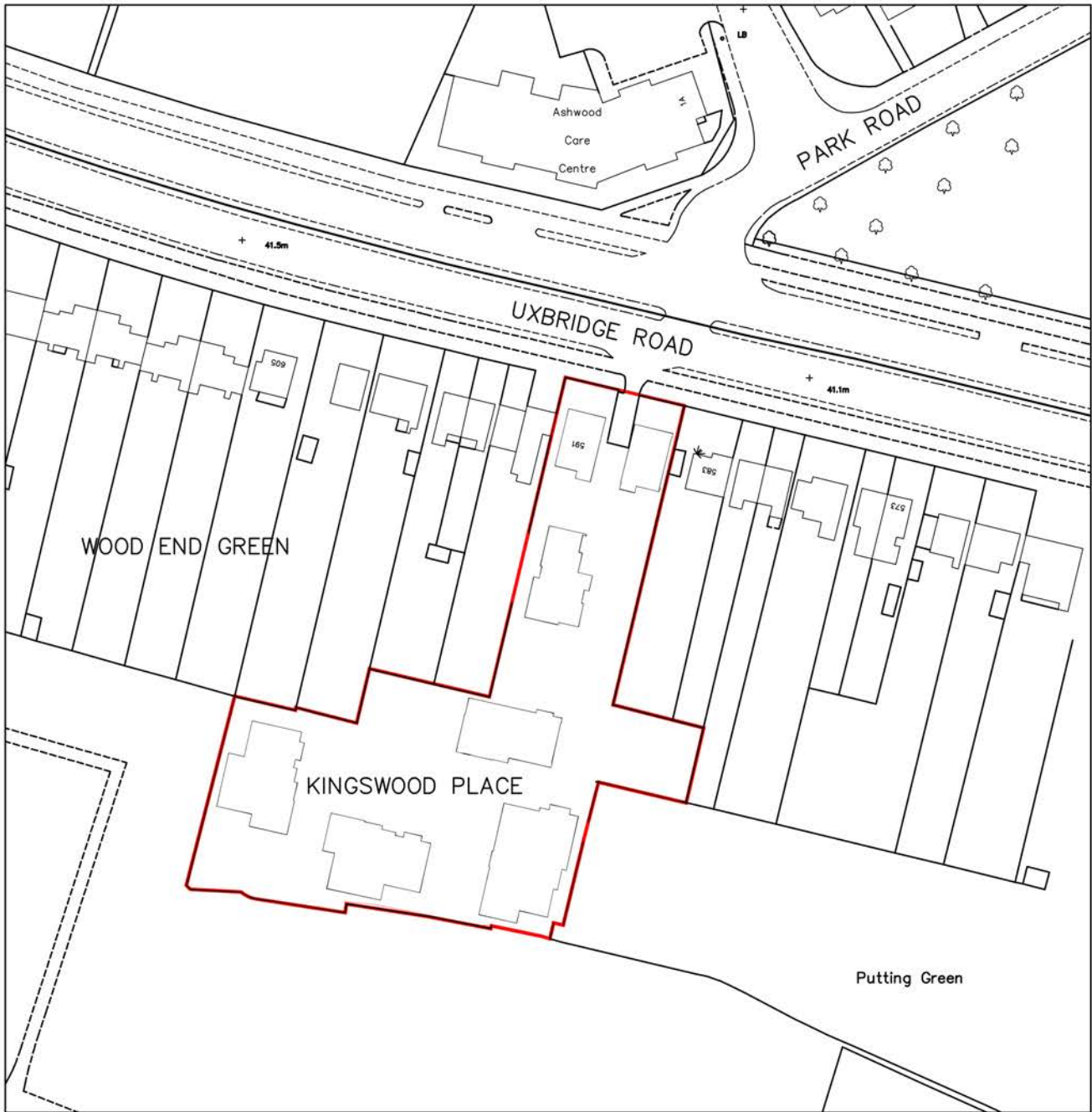
Development: Change of use of B1(c) floorspace to provide 12 additional residential units and associated ancillary works. (Amendment to planning permission ref: 4404/APP/2011/2079, dated 30-03-2012 (Application to replace extant planning permission ref: 4404/APP/2008/3558, dated 23-03-2009); Redevelopment of site to provide replacement Class B1(c) light industrial space and 34 two-bedroom and 9 one-bedroom flats with associated car parking, landscaping and amenity space).

LBH Ref Nos: 4404/APP/2014/2506

Date Plans Received: 16/07/2014

Date(s) of Amendment(s):

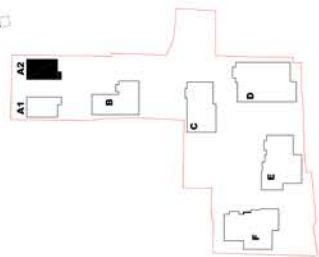
Date Application Valid: 17/07/2014



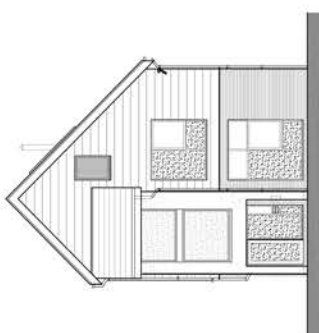
■ Pronto Trading Estate,
 Uxbridge Rd, Hayes
 ■ Site Location Plan

■ Project TPH
 ■ Dwg No/rev. PL-100
 ■ Scale 1:1250
 ■ Date Dec 08

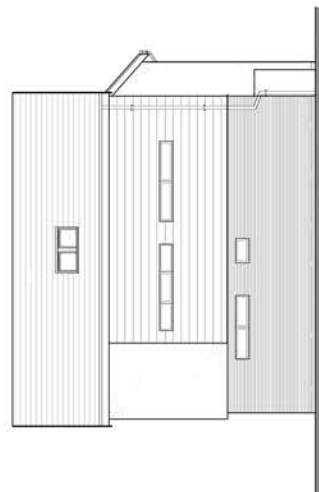
jsa
 jsa architects



Proposed Front Elevation



Proposed Side Elevation



Proposed Rear Elevation



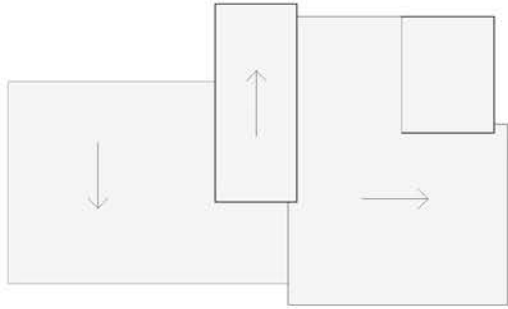
Proposed Side Elevation



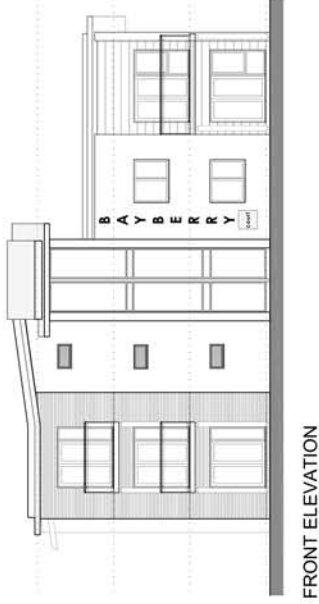
Proposed Ground Floor Plan



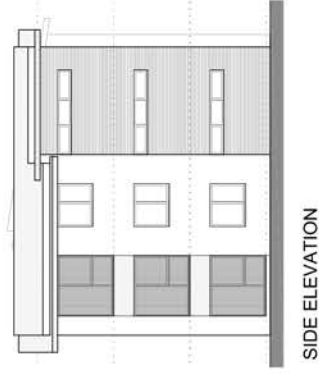
FIRST FLOOR



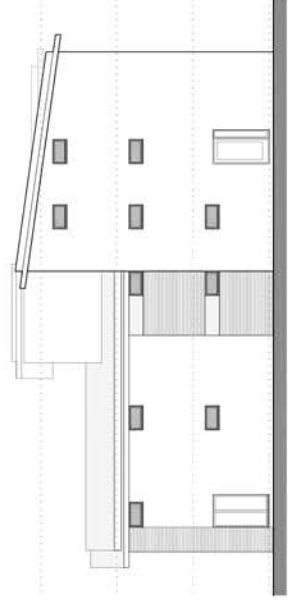
ROOF PLAN



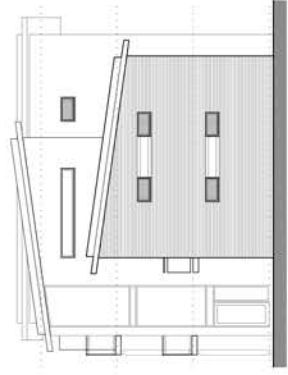
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



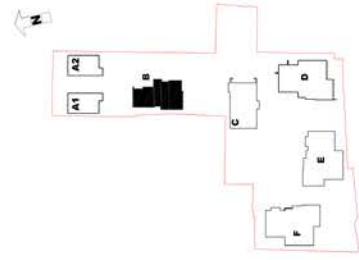
SIDE ELEVATION

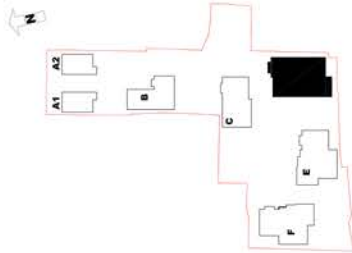


GROUND FLOOR



SECOND FLOOR

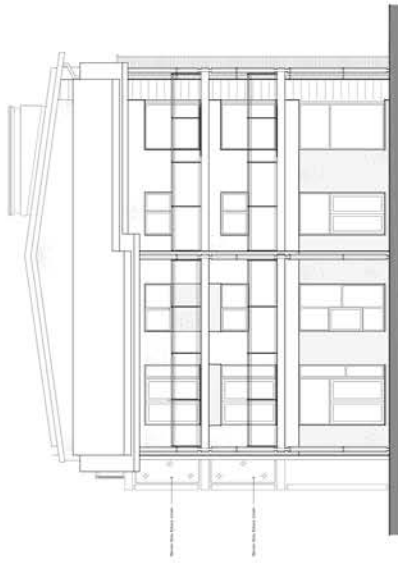




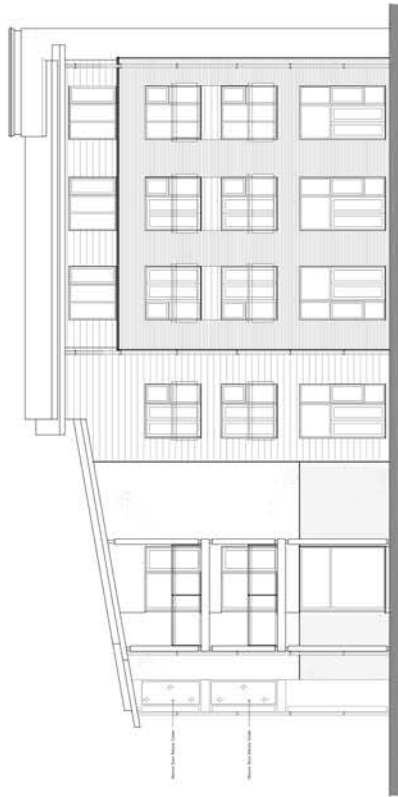
Proposed Ground Floor Plan



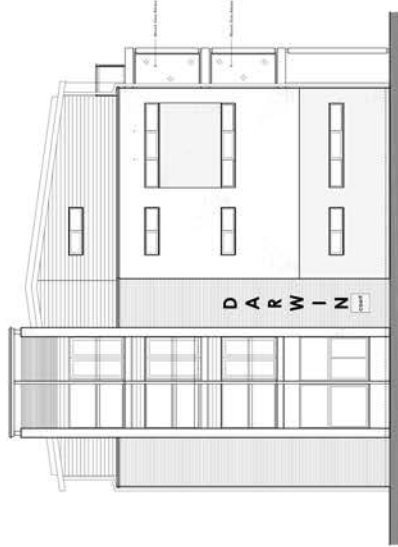
Proposed Front Elevation



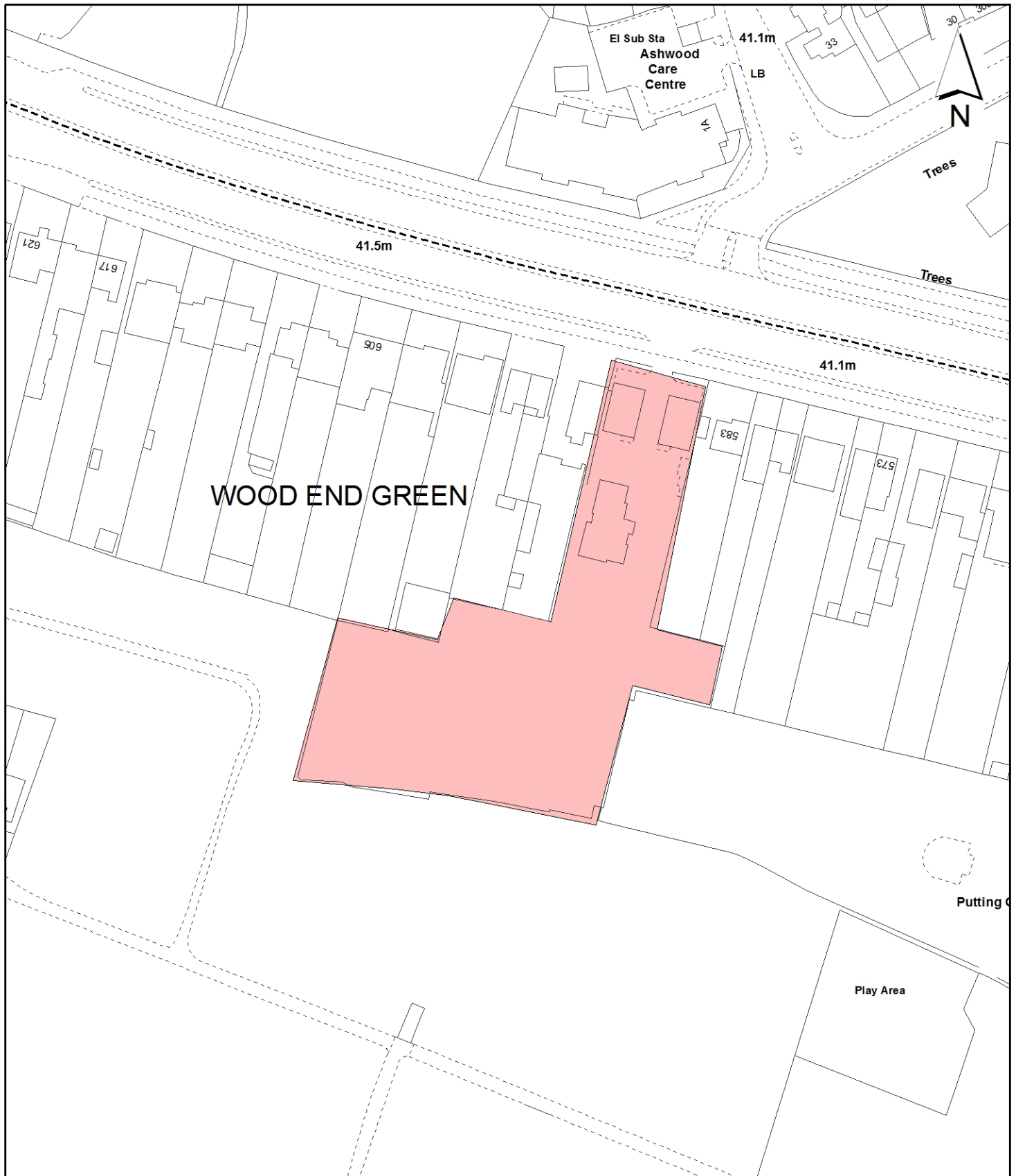
Proposed Side Elevation





Proposed Rear Elevation



Proposed Side Elevation



<p>Notes</p> <p> Site boundary</p> <p>For identification purposes only.</p> <p>This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act). Unless the Act provides a relevant exception to copyright.</p> <p>© Crown copyright and database rights 2015 Ordnance Survey 100019283</p>	<p>Site Address</p> <p>Pronto Industrial Estate & 585 - 591 Uxbridge Road Hayes</p>		<p>LONDON BOROUGH OF HILLINGDON</p> <p>Residents Services Planning Section</p> <p>Civic Centre, Uxbridge, Middx. UB8 1UW Telephone No.: Uxbridge 250111</p>
	<p>Planning Application Ref:</p> <p>4404/APP/2014/2506</p>	<p>Scale</p> <p>1:1,250</p>	
	<p>Planning Committee</p> <p>Major</p>	<p>Date</p> <p>March 2015</p>	

Report of the Head of Planning, Sport and Green Spaces

Address 1 NOBEL DRIVE HARLINGTON

Development: Conversion and extension of existing office building to form a 200 bedroom hotel with banqueting suite, conference facilities, and rooftop restaurant, including a seven-storey extension to rear, a three storey addition at roof level and single-storey side extension, together with the creation of a new vehicle access, and alterations to car parking and landscaping.

LBH Ref Nos: 46214/APP/2014/2827

Date Plans Received: 08/08/2014

Date(s) of Amendment(s):

19/02/2015

Date Application Valid: 03/09/2014

08/08/2014

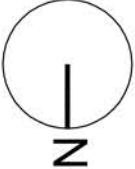
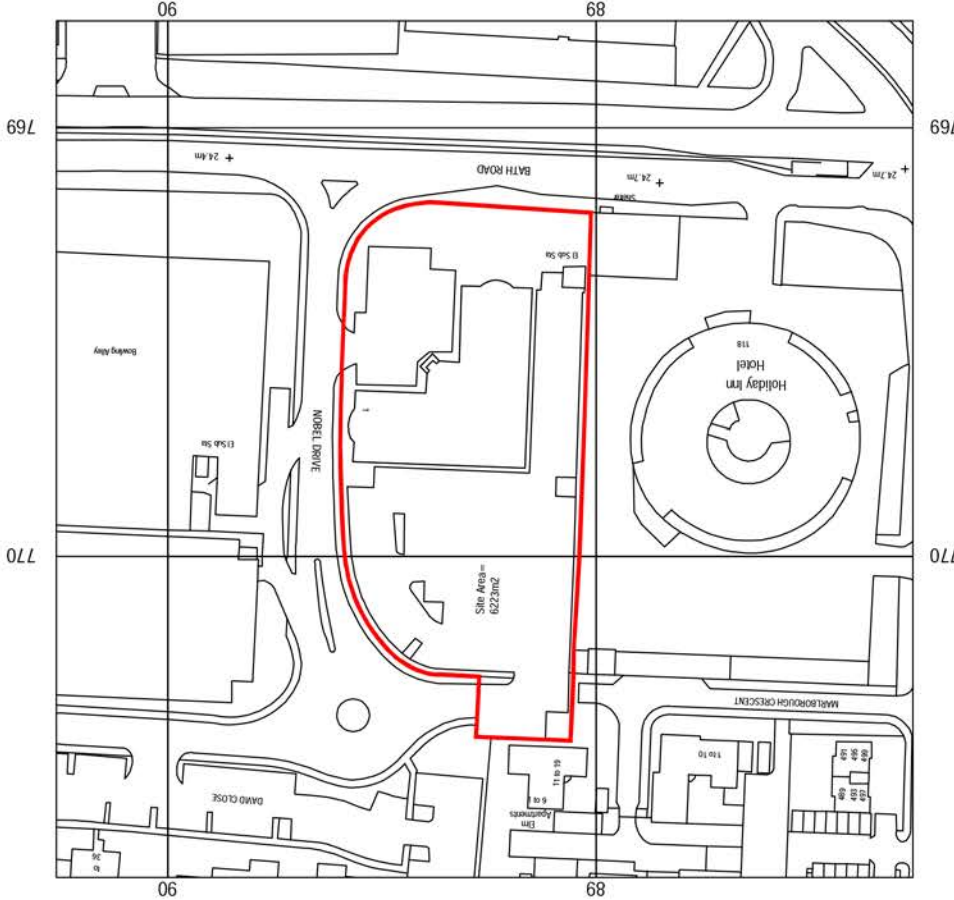
23/02/2015

509026m

509026m

508826m

508826m

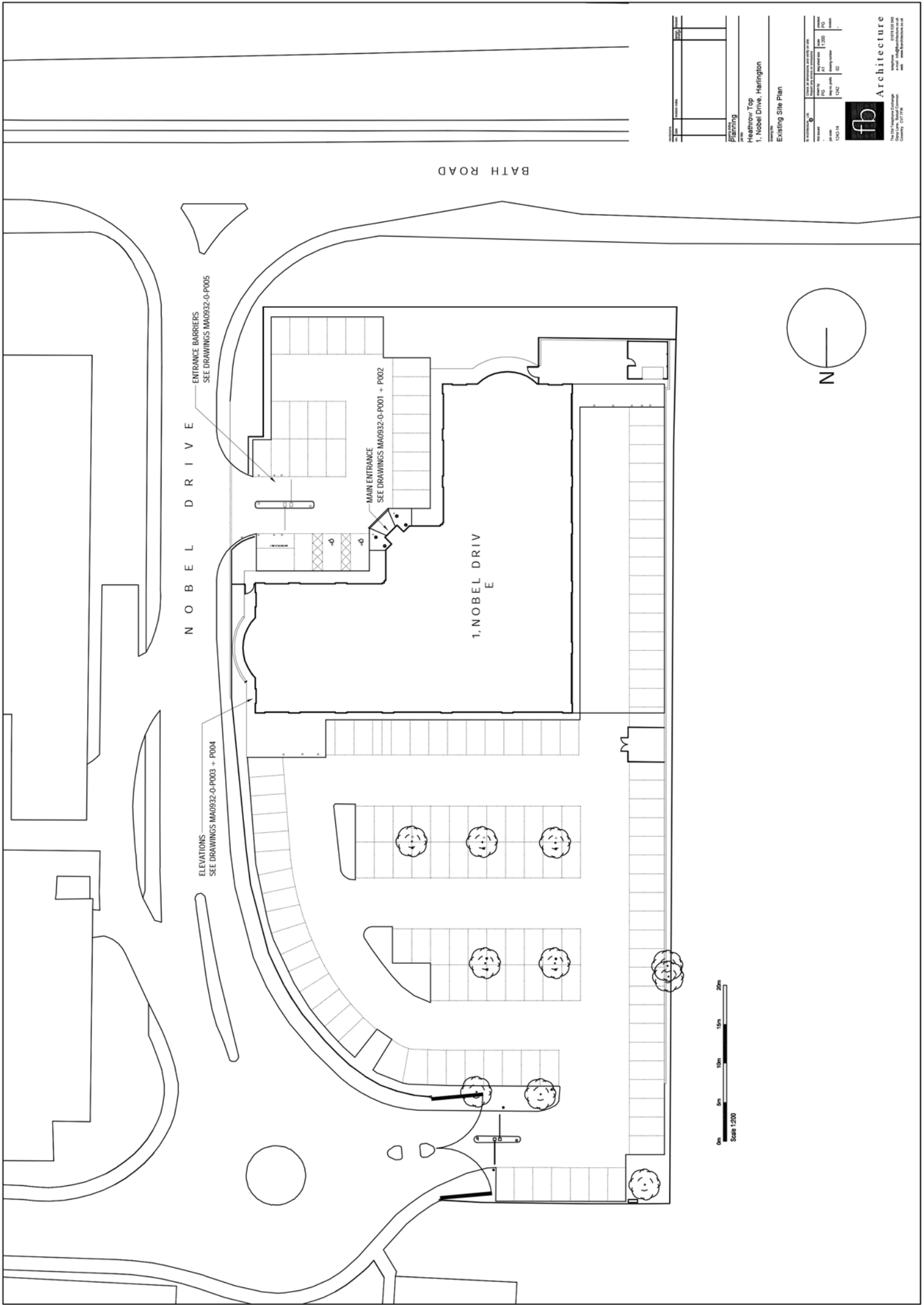


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						job code	1242-14	1:1250	
						drawing number	01		
						drawing number	01		
						dwg no. prefix	-		
						dwg sheet size	A3		
						drawn by	PG		
						Check all dimensions and verify on site. Report any errors or omissions			

Heathrow Top
1 Nobel Drive, Harlington



fo Architecture
The Old Telephone Exchange
Copley Lane, Batsall Common
Coventry, CV7 7FW
Telephone: 01876 535 530
e-mail: info@foarch.co.uk
web: www.foarch.co.uk



ENTRANCE BARRIERS
SEE DRAWINGS MA0932-0-P005

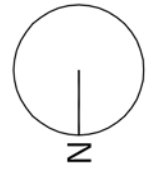
NOBEL DRIVE

ELEVATIONS
SEE DRAWINGS MA0932-0-P003 + P004

MAIN ENTRANCE
SEE DRAWINGS MA0932-0-P001 + P002

1. NOBEL DRIVE

BATH ROAD

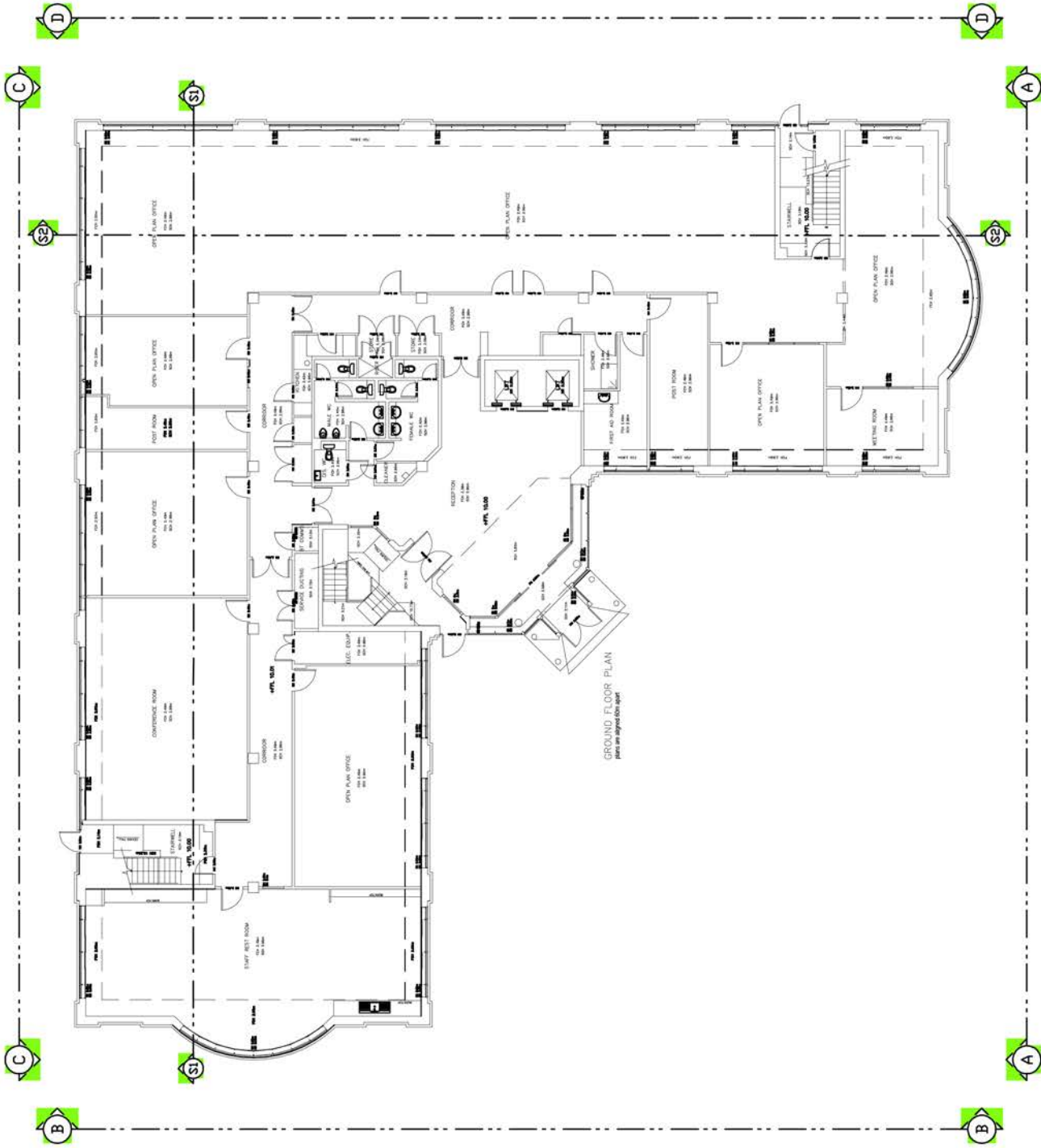


NO.	REVISION	DATE

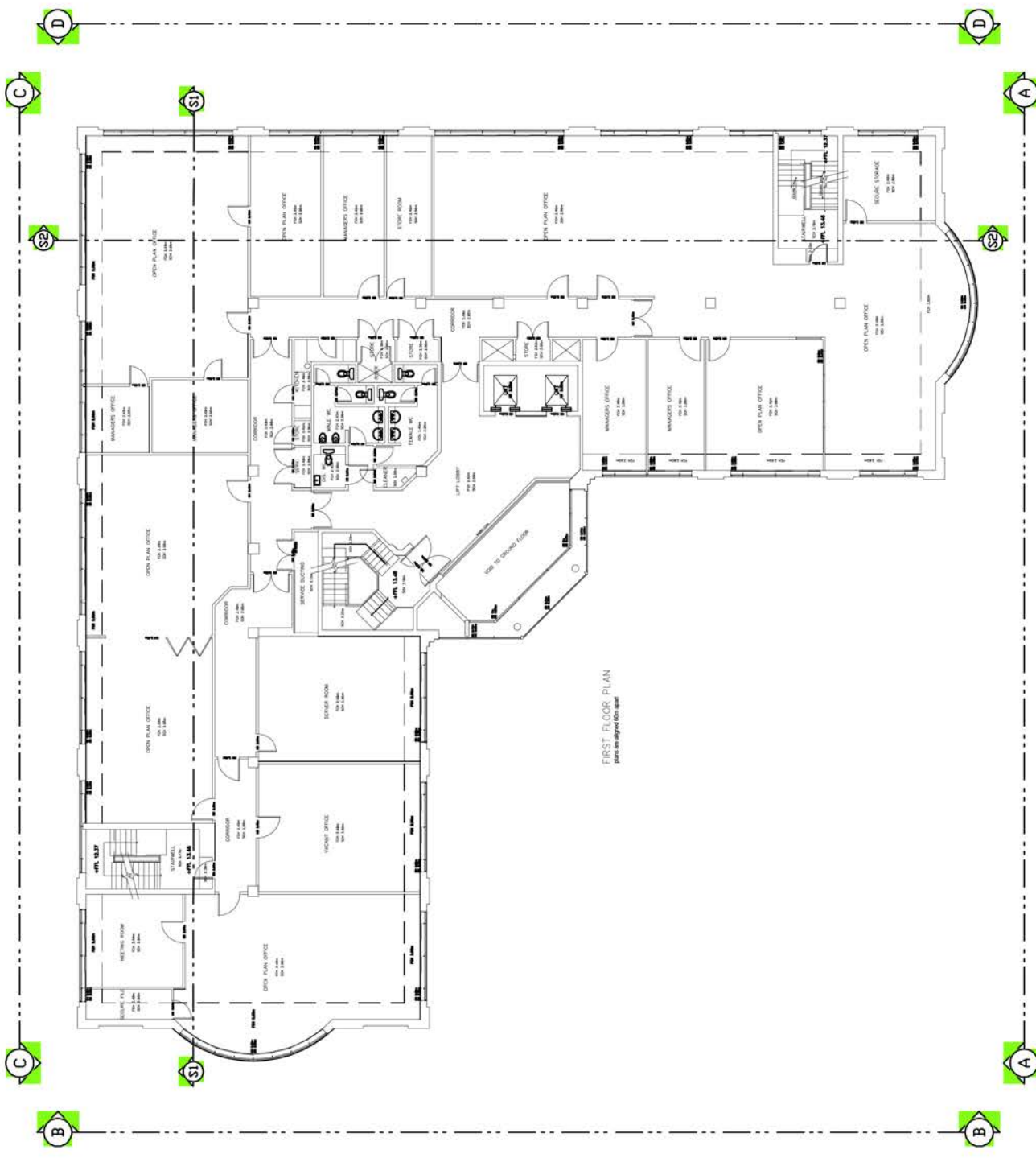
Project Name
Heathrow Top
 1. Nobel Drive, Harrington
 Drawing
Existing Site Plan

NO.	REVISION	DATE

fb Architecture
 The Old Engine Exchange
 1. Nobel Drive, Harrington
 County Durham, UK
 Tel: +44 (0)191 275 1111
 Fax: +44 (0)191 275 1112
 Email: info@fbarchitecture.co.uk
 Website: www.fbarchitecture.co.uk

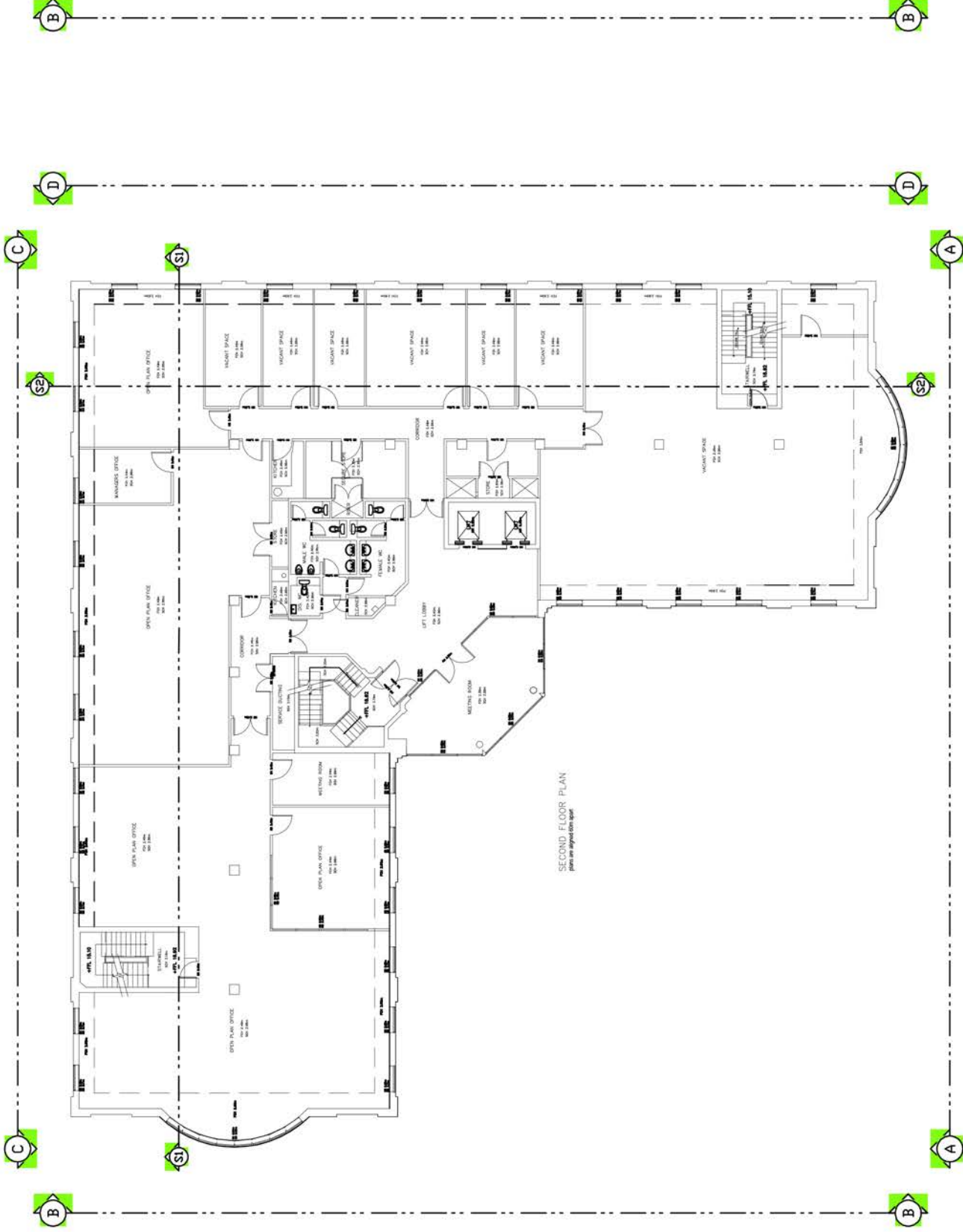


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						job code		dwg no. prefix	drawing number		
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						Existing Ground Floor Plan					
						Heathrow Top					
						1 Nobel Drive, Harlington					
						drawing title					

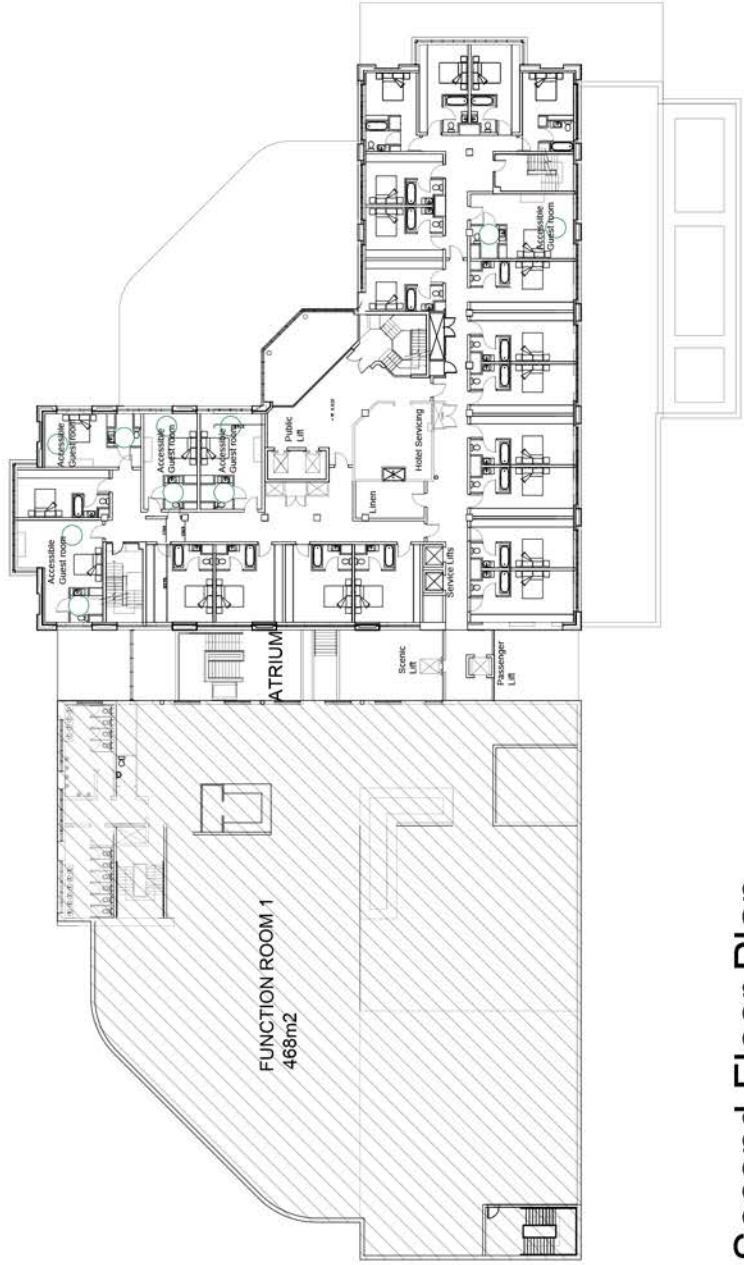


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								dwg no. prefix -
								drawing number 04
								checked
								revision -

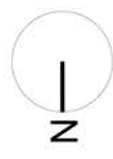
Heathrow Top
1 Nobel Drive, Harlington



rev. / date / revisions	revision notes	design change	checked	drawing status	Reds Ltd. Architects	Check all dimensions and verify on site. Report any errors or omissions	drawn by PG	dwg sheet size A3	scale 1:200	checked
				Survey	first issued		dwg no. prefix -	drawing number 05		revision -
				Existing Second Floor Plan	job code 1242-14					
Heathrow Top 1 Nobel Drive, Harlington										



Second Floor Plan



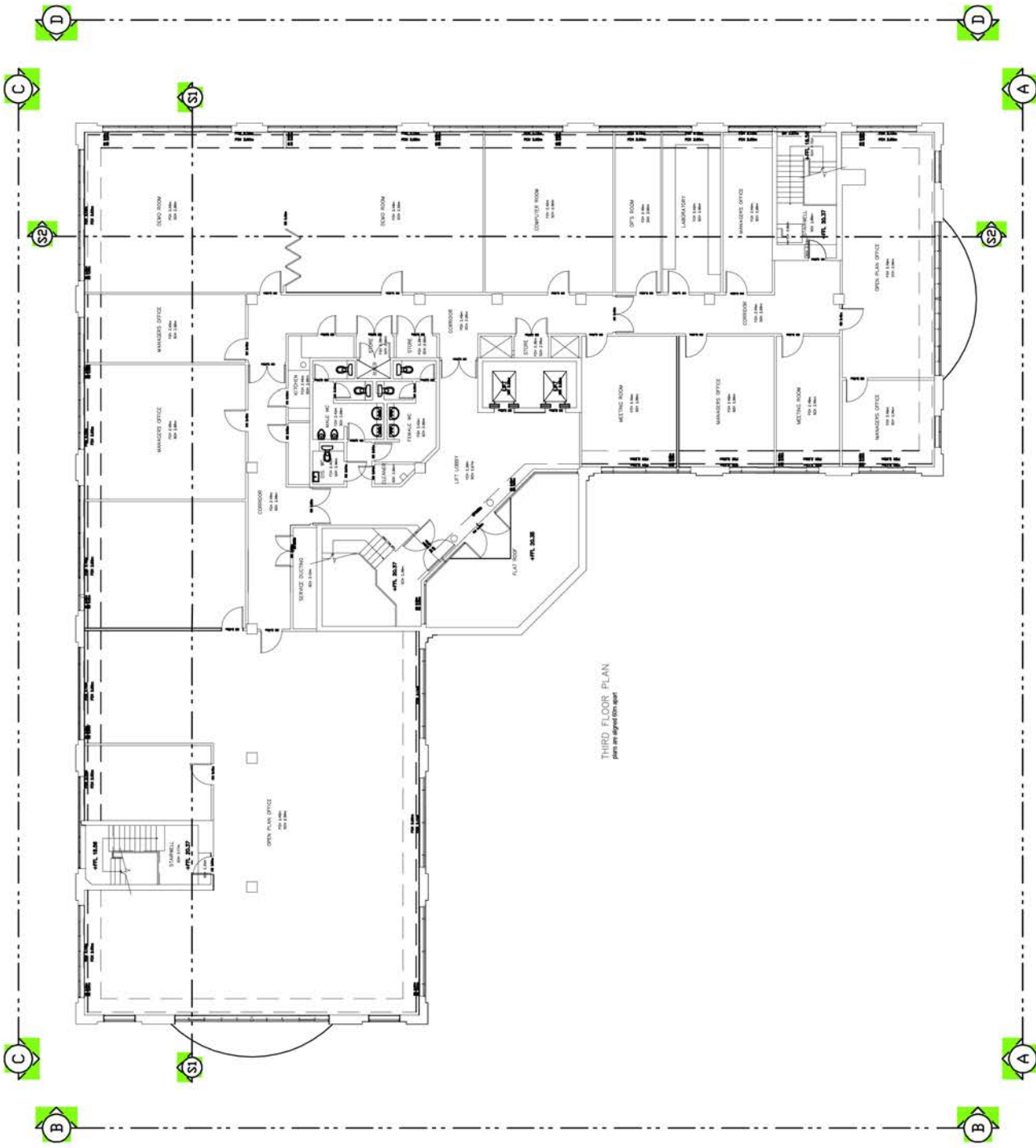
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NO.	DATE	REVISIONS	BY	CHECKED
1	14.03.14	Final Planning Issue	PL	PL
2	20.05.14	Client Review/Comment Incorporated	PL	PL

Planning
Heathrow Top Hotel
1 Nobel Drive, Harlington
 10/0000000
 Proposed Second Floor Plan

NO.	DATE	REVISIONS	BY	CHECKED
1	14.03.14	Final Planning Issue	PL	PL
2	20.05.14	Client Review/Comment Incorporated	PL	PL

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 11 The Courtyard
 Churchfields, Harlow, Essex, SS16 1JG
 01276 546434
 www.facebook.com/fbarch

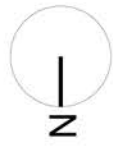


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				Existing Third Floor Plan	job code					
					1242-14					
										06
										-

Heathrow Top
1 Nobel Drive, Harlington



Third Floor Plan



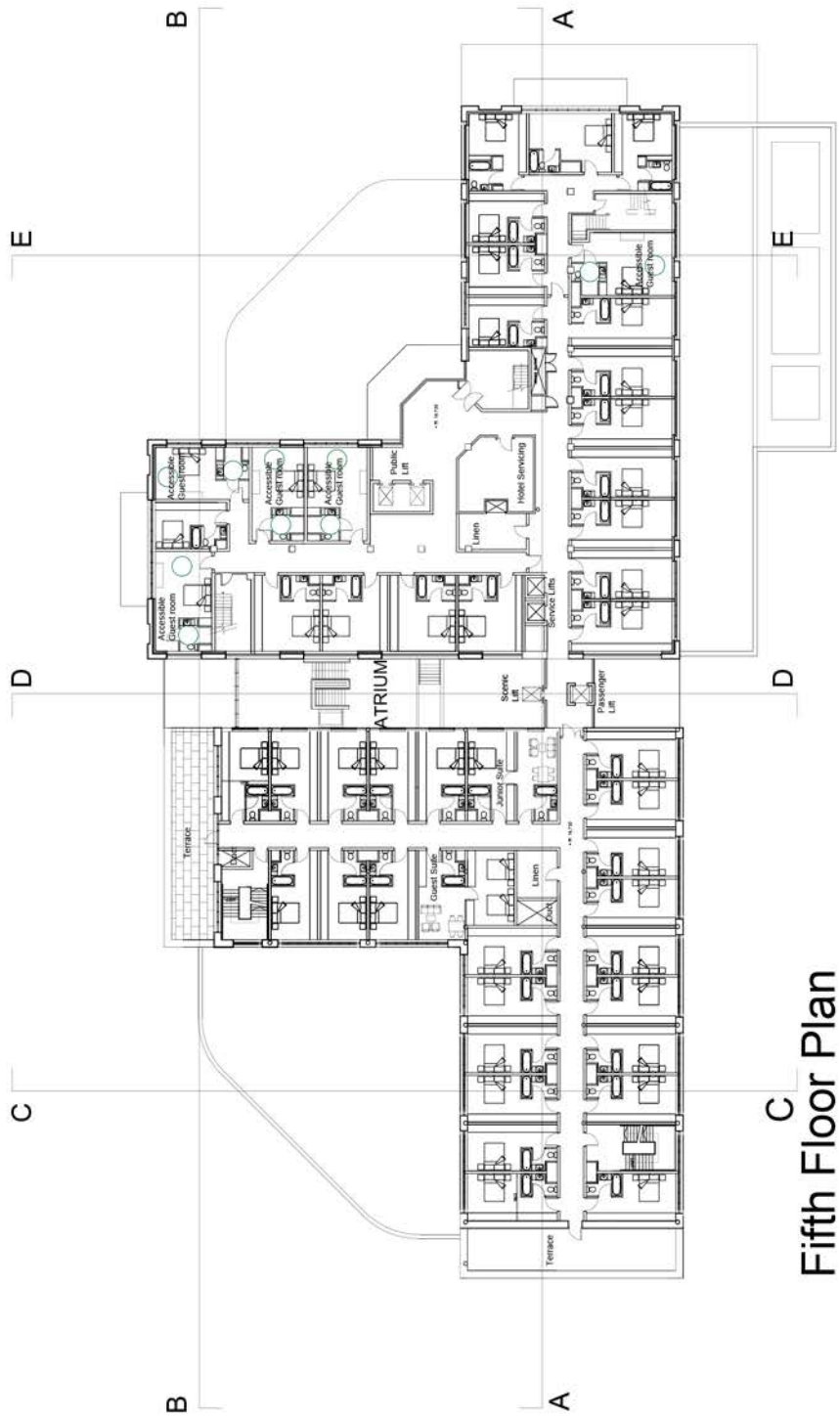
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NO.	DATE	DESCRIPTION	BY	CHKD.
A	10.23.13	Final Planning	FB	FB
B	11.13.14	Final Architecture	FB	FB
C	12.14.14	Final Construction	FB	FB
D	12.14.14	Final Construction	FB	FB

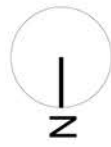
fb
Architecture
 Heatnrow Top Hotel
 1 Nobel Drive, Harlington
 Proposed Third Floor Plan

NO.	DATE	DESCRIPTION	BY	CHKD.
A	10.23.13	Final Planning	FB	FB
B	11.13.14	Final Architecture	FB	FB
C	12.14.14	Final Construction	FB	FB
D	12.14.14	Final Construction	FB	FB

fb
Architecture
 Heatnrow Top Hotel
 1 Nobel Drive, Harlington
 Proposed Third Floor Plan



Fifth Floor Plan

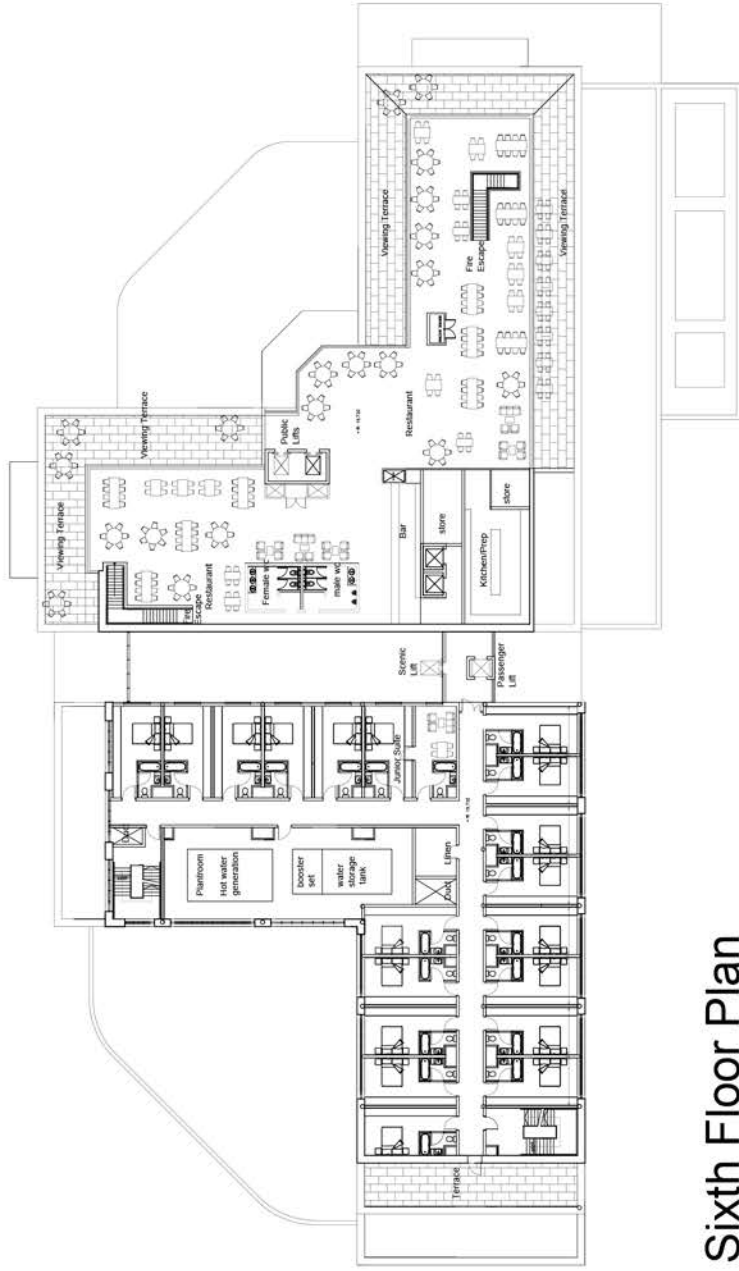


NO.	DATE	REVISION	BY	CHKD.
A	10.2.13	Final Planning Issues	PL	DB
B	20.1.14	Final Accessible Design and Details	PL	DB
C	20.1.14	Final Accessible Design and Details	PL	DB
D	20.1.14	Final Accessible Design and Details	PL	DB
E	20.1.14	Final Accessible Design and Details	PL	DB

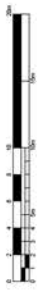
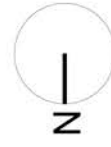
Planning
Headrow Top Hotel
1 Nobel Drive, Hattington
 Proposed Fifth Floor Plan

NO.	DATE	REVISION	BY	CHKD.
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B	20.1.14	Final Accessible Design and Details	PL	DB
C	20.1.14	Final Accessible Design and Details	PL	DB
D	20.1.14	Final Accessible Design and Details	PL	DB
E	20.1.14	Final Accessible Design and Details	PL	DB

fb Architecture
 8 The Courtyard
 Cambridge CB2 1JG
 01223 464374
 info@fbarchitecture.co.uk
 www.fbarchitecture.co.uk



Sixth Floor Plan



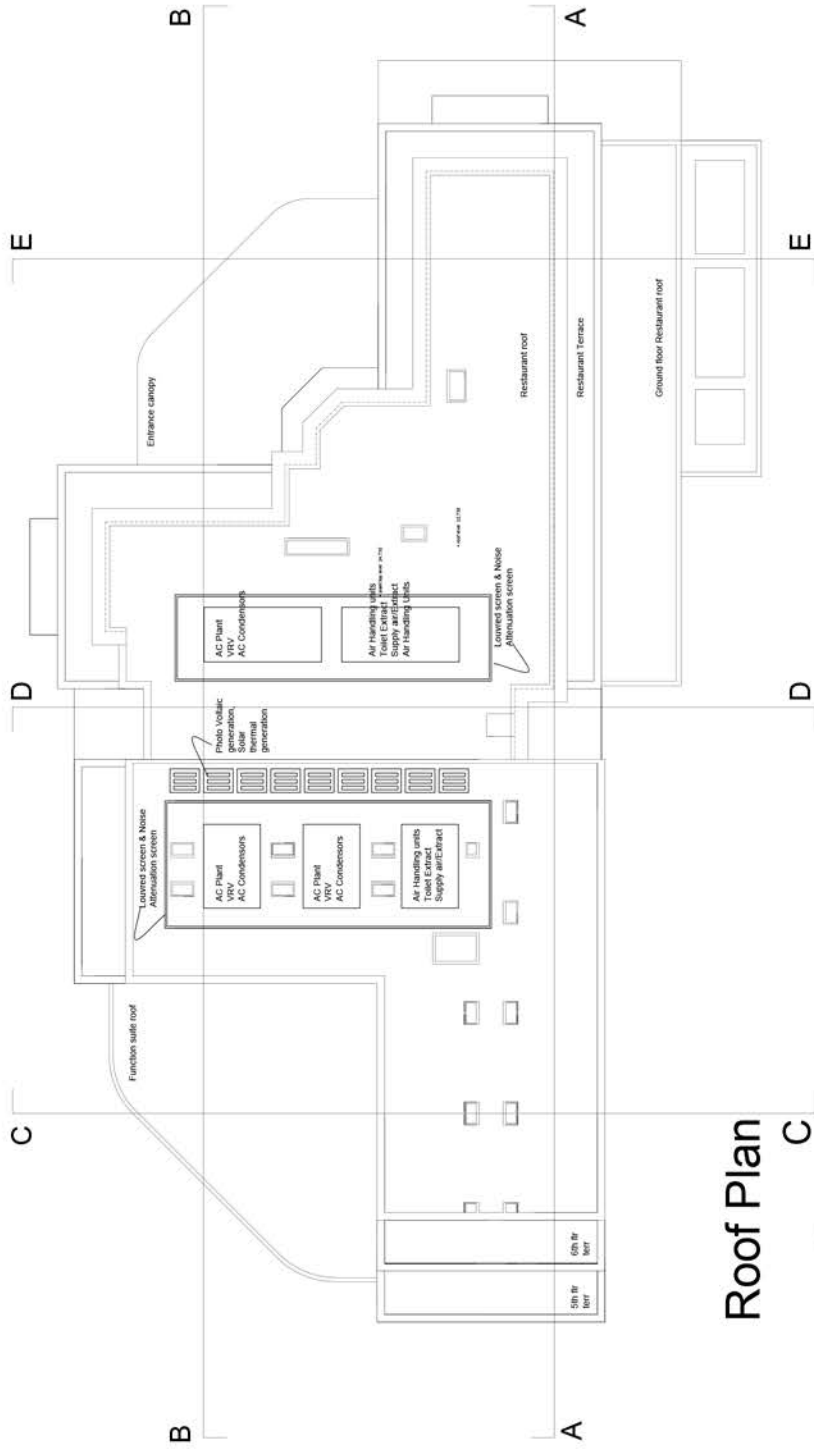
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Rev	Date	Description	By	Check
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B	24.03.14	Changes to new block step back to 20m Pa	PLG	
C	19.11.14	Revisions submitted	PLG	

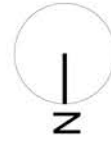
Planning
Heatrow Top Hotel
1 Nobel Drive, Harlington
 Proposed Sixth Floor Plan

Rev	Date	Description	By	Check
A	14.02.13	Final Planning Issue	PLG	
B	24.03.14	Changes to new block step back to 20m Pa	PLG	
C	19.11.14	Revisions submitted	PLG	

fb Architecture
 8 The Courtyard
 Colindale, London NW9 1EQ
 Telephone: 0207 460572
 Email: info@fbarchitecture.co.uk
 Website: www.fbarchitecture.co.uk



Roof Plan



1:200

Revision	Number	Date	By	Check
A	102-11	Planning Final Issue	PL	PL
B	20-10-14	Details incorporated in new blocks	PL	PL
Join back to the work by				

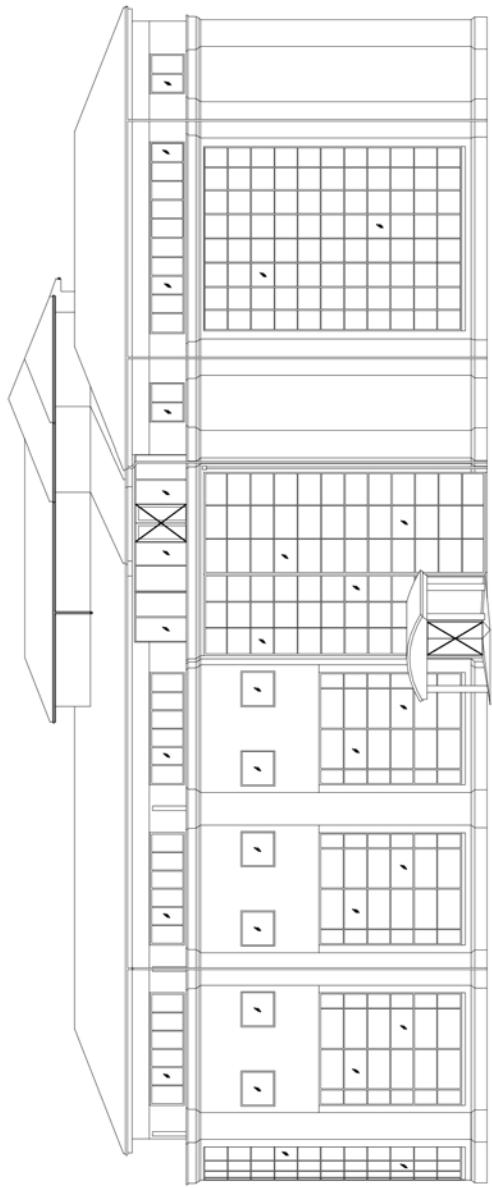
Planning

1 Nobel Top Hotel
1 Nobel Drive, Harlington

Proposed Roof Plan

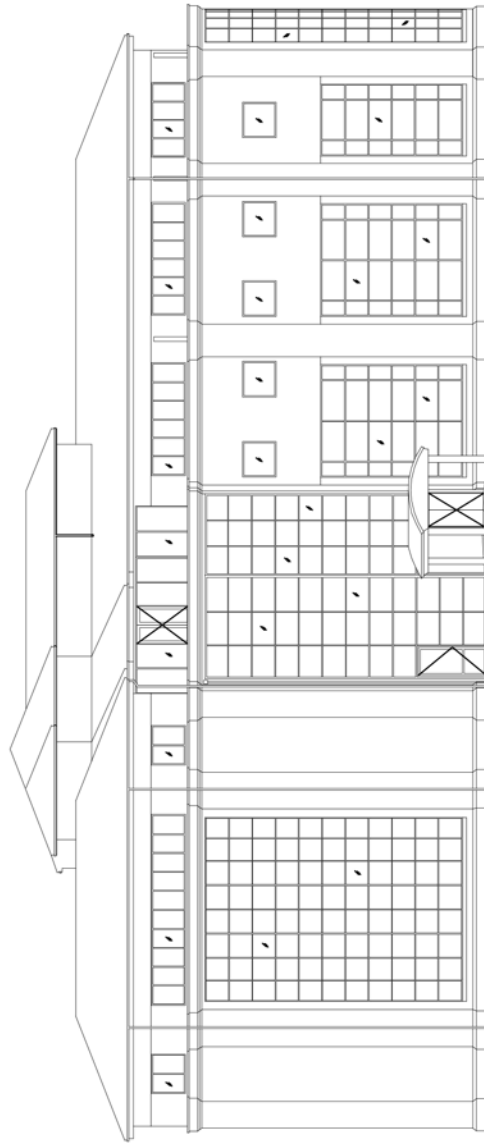
Client		Project	
1 Nobel Top Hotel	1 Nobel Drive, Harlington	102-11	102-11
102-11	102-11	102-11	102-11
102-11	102-11	102-11	102-11

fb Architecture
 Harlington, Essex, UK
 0203 440123



↔ A ↔
EAST ELEVATION

- Revised floor plan 12/2010
- Revised floor plan 12/2010
- Revised floor plan 12/2010
- Revised floor plan 12/2010
- Revised floor plan 12/2010



↔ B ↔
SOUTH ELEVATION

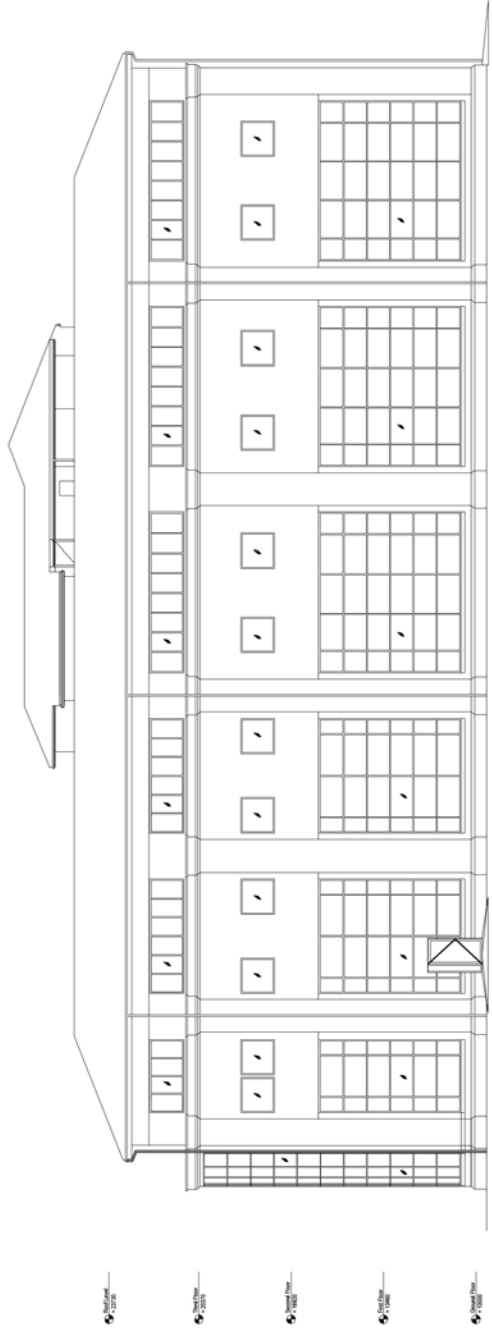
- Revised floor plan 12/2010
- Revised floor plan 12/2010
- Revised floor plan 12/2010
- Revised floor plan 12/2010
- Revised floor plan 12/2010

rev. / date	revisions	revision notes	design change	checked	drawing status	Reds Ltd. Architects	Check all dimensions and verify on site. Report any errors or omissions
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					Existing South and East Elevations	dwg sheet size A3 drawing number 08	scale 1:200 checked revision -

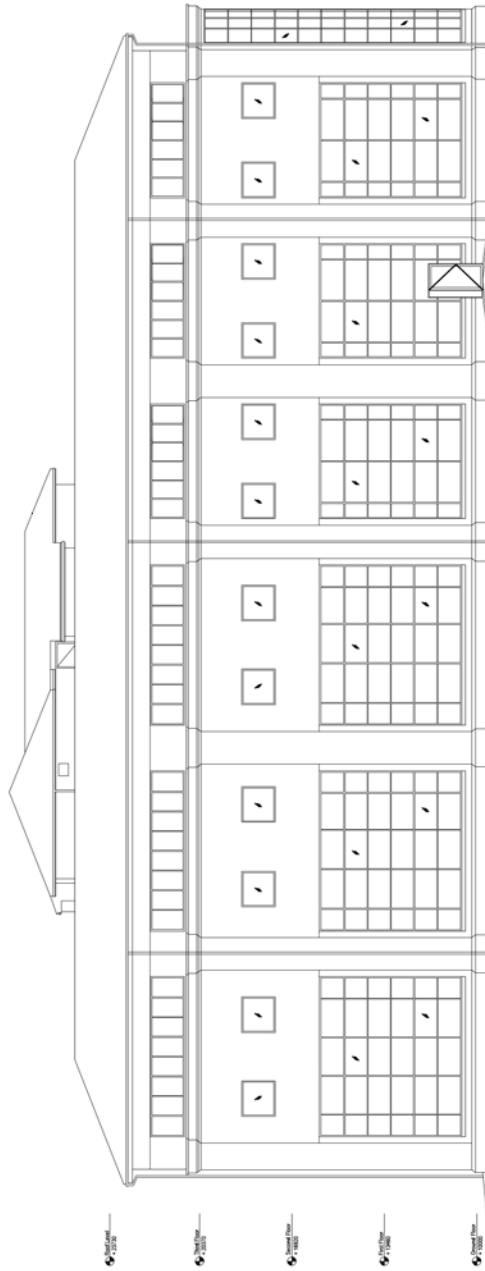
Heathrow Top
1 Nobel Drive, Harlington



Architecture
The Old Telephone Exchange
Cippy Lane, Baisak Common
Coveytry CV7 7FW
Telephone 01676 505 530
e-mail info@fbarch.co.uk
web www.fbarch.co.uk



4-D
NORTH ELEVATION



4-C
WEST ELEVATION

rev.	date	revisions	revision notes	design change	checked	drawing status	Survey	Reds Ltd. Architects	Check all dimensions and verify on site. Report any errors or omissions			
							Existing North & West Elevations	first issued	drawn by	dwg sheet size	scale	checked
								job code	PG	A3	1:200	revision
								1242-14	dwg no. prefix	drawing number		
									-	09		-

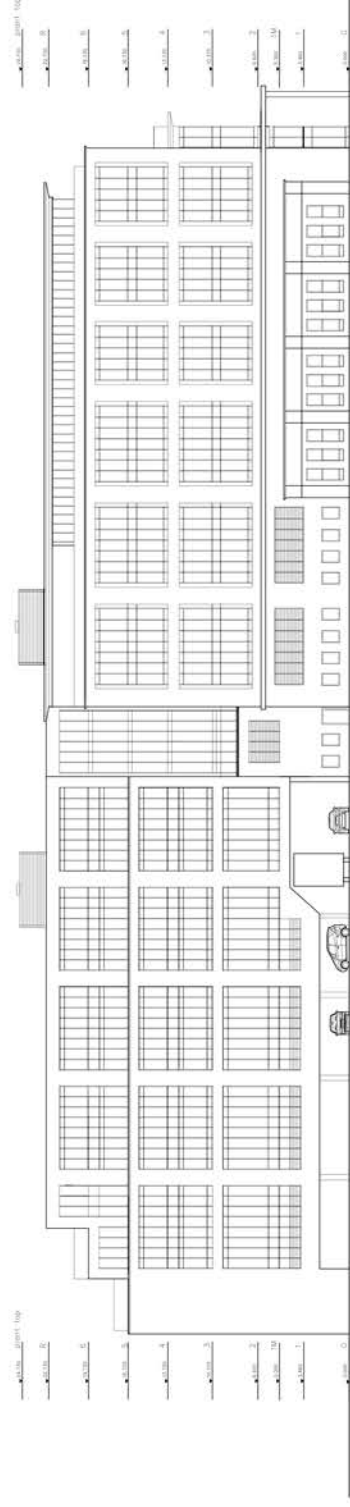
Heathrow Top
1 Nobel Drive, Harlington



fb Architecture
The Old Telephone Exchange
Cippy Lane, Balsall Common
Coventry CV7 7FW
Telephone 01676 506 530
e-mail info@fbarch.co.uk
web www.fbarch.co.uk



Key Plan



West Elevation

- Notes:
- 1 Roof-Fin, roof set behind parapet walling. Single ply membrane on insulated deck on structural deck
 - 2 Fascias-projecting lagging fascia sections in preformed powdercoat aluminum-colour white.
 - 3 Walls- white- through coloured, insulated smooth render panel system to walls generally.
 - 4 Top 2 floors of rear block- Grey coloured, metal faced rainscreen cladding panels, vertical joints
 - 5 Fenestration- Bronze anodised Aluminium curtain glazing system, projecting vertical fins to selected glazing bars. Clear solar treated glass.
 - 6 Feature Entrance canopy- grey colour powder coated aluminium fascias. flat white soffits containing structural frame.
 - 7 Columns- circular section, preformed pc aluminium cladding onto steel column sections
 - 8 External Balcony balustrading- light grey infill, toughened glass infill, stainless steel handrails and support.
 - 9 Roof plant enclosure- Grey colour pc, aluminium horizontal louvered screen with steel noise attenuating screen wall behind. To M+E recommendations.



North Elevation

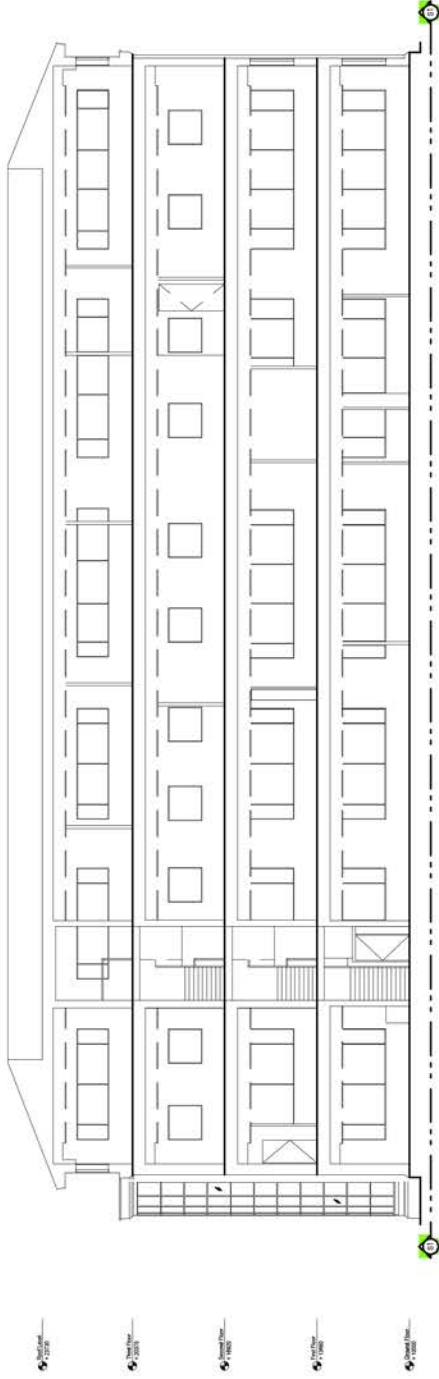
Revised to Nobel Drive Boundary Treatment.
 Render faced walls with aluminium fin glazed walls to increased openings in front of building. To be used for occasional seating, accessed from the Function suite. Glazed balustrade to edge of deck.

NO.	DATE	DESCRIPTION	BY	CHECKED
1	25-10-14	Issue for construction	PL	PL
2	25-10-14	Issue for construction	PL	PL
3	25-10-14	Issue for construction	PL	PL
4	25-10-14	Issue for construction	PL	PL
5	25-10-14	Issue for construction	PL	PL
6	25-10-14	Issue for construction	PL	PL
7	25-10-14	Issue for construction	PL	PL
8	25-10-14	Issue for construction	PL	PL
9	25-10-14	Issue for construction	PL	PL

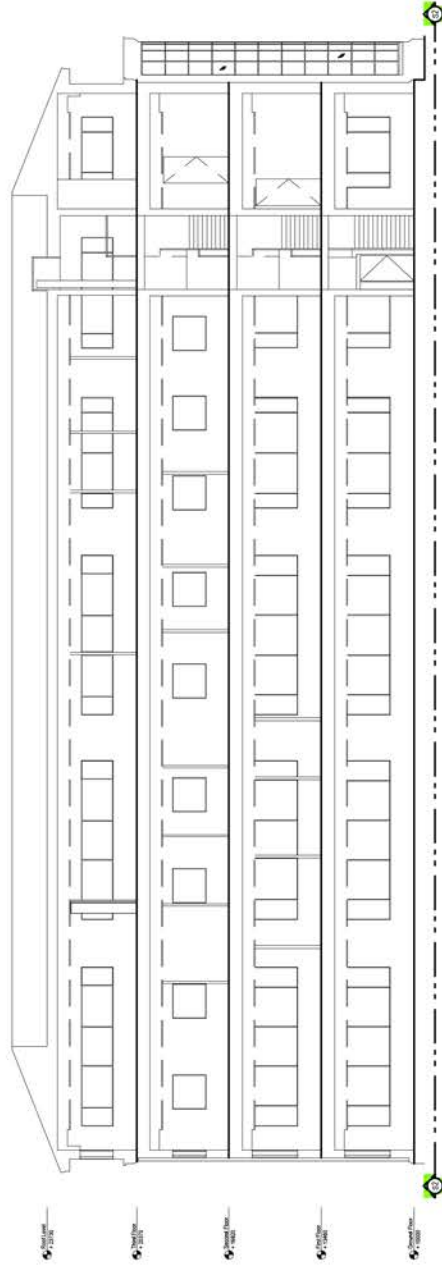
Project Name: Heathrow Top Hotel
 1 Nobel Drive, Harrington
 Date: 25-10-14
 Scale: 1:200
 Drawing No: PL

fb Architecture
 11, Park Street, London, W1C 2PS
 Tel: +44 (0)20 7460 1000
 Email: info@fbarchitecture.co.uk





SECTION A-A



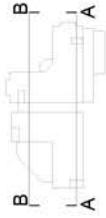
SECTION B-B

rev.	date	revision notes	design change	checked	drawing status	Reds Ltd. Architects	Check all dimensions and verify on site. Report any errors or omissions				
						first issued	drawn by	dwg sheet size	scale	checked	
						job code	PG	A3	1:200	revision	
						1242-14	dwg no. prefix	drawing number		-	
							-	10			
						Survey					
						Existing Sections A-A & B-B					
						drawing title					

Heathrow Top
1 Nobel Drive, Harlington



Architecture
The Old Telephone Exchange
Cripps Lane, Bakewell Common
Coveytry CV7 7FW
Telephone 01676 555 530
e-mail info@fbarch.co.uk
web www.fbarch.co.uk



Key Plan



Section A-A



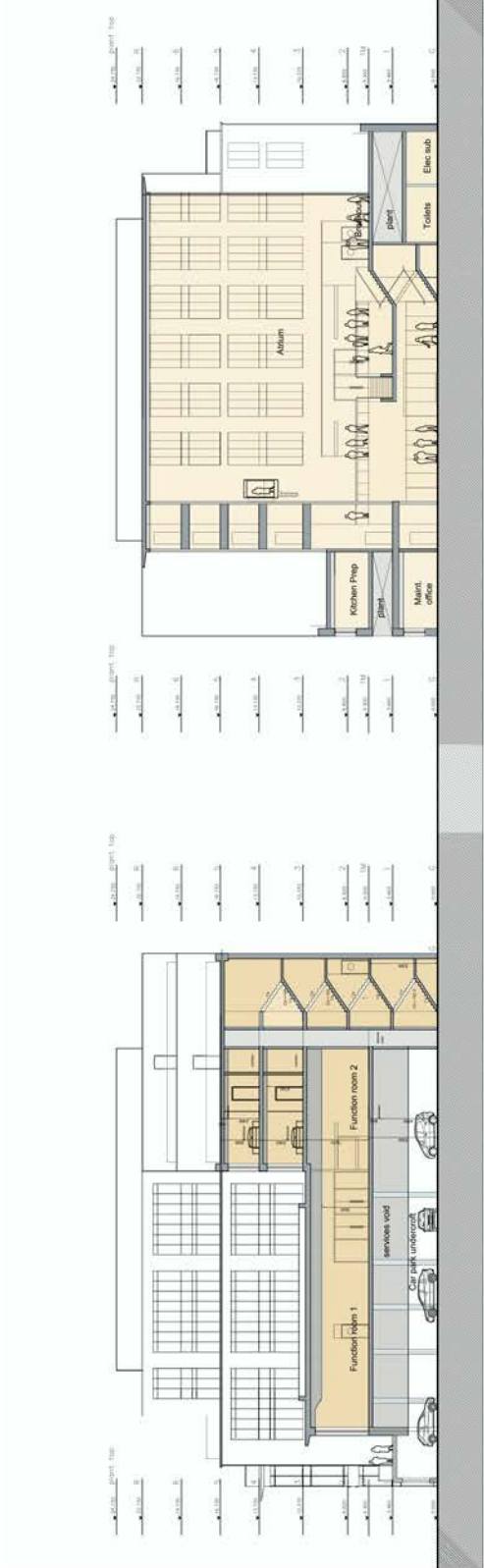
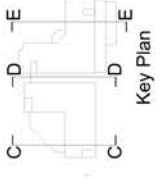
Section B-B

Project Name	Heathrow Top Hotel
Client	1 Nobel Drive, Harlington
Phase	Planning
Scale	1:200
Date	June 2014
Author	PG
Checker	AT
Project Manager	1:200
Revision	1
Drawn by	PG
Checked by	AT
Scale	1:200
Date	June 2014

fb Architecture

1 The Courtyard
Riverside Way
Cambridge, CB1 1PB

01223 316122
info@fbarchitecture.co.uk
www.fbarchitecture.co.uk



Section D-D

Section C-C



revision	description	date	by	checked
01	Issue for tender	12/02/14	PL	PL
02	Issue for tender	12/02/14	PL	PL
03	Issue for tender	12/02/14	PL	PL
04	Issue for tender	12/02/14	PL	PL
05	Issue for tender	12/02/14	PL	PL
06	Issue for tender	12/02/14	PL	PL
07	Issue for tender	12/02/14	PL	PL
08	Issue for tender	12/02/14	PL	PL
09	Issue for tender	12/02/14	PL	PL
10	Issue for tender	12/02/14	PL	PL
11	Issue for tender	12/02/14	PL	PL
12	Issue for tender	12/02/14	PL	PL

Planning
 Heathrow Top Hotel
 1 Nobel Drive, Farnham
 Surrey, GU14 7JF

Section C-C, D-D and E-E

Project No.	Client	Scale	Drawn	Checked
12/02-14	Heathrow Top Hotel	1:200	PL	PL

fb Architecture
 11 The Quadrant, Farnham, Surrey, GU14 7JF
 Tel: 01253 634111
 www.fb-architecture.co.uk



Resin/fibreglass troughs filled with wind & drought resistant plants

parapet glazed balustrading



Composite decking, eg Enhanced golden grain by Millboard

Composite decking, eg Enhanced golden grain by Millboard

Female wc

Duct

Composite decking, eg Enhanced golden grain by Millboard

Resin/fibreglass raised planters in ascending heights filled with wind & drought resistant plants

FUNCTION ROOM 1
468m²

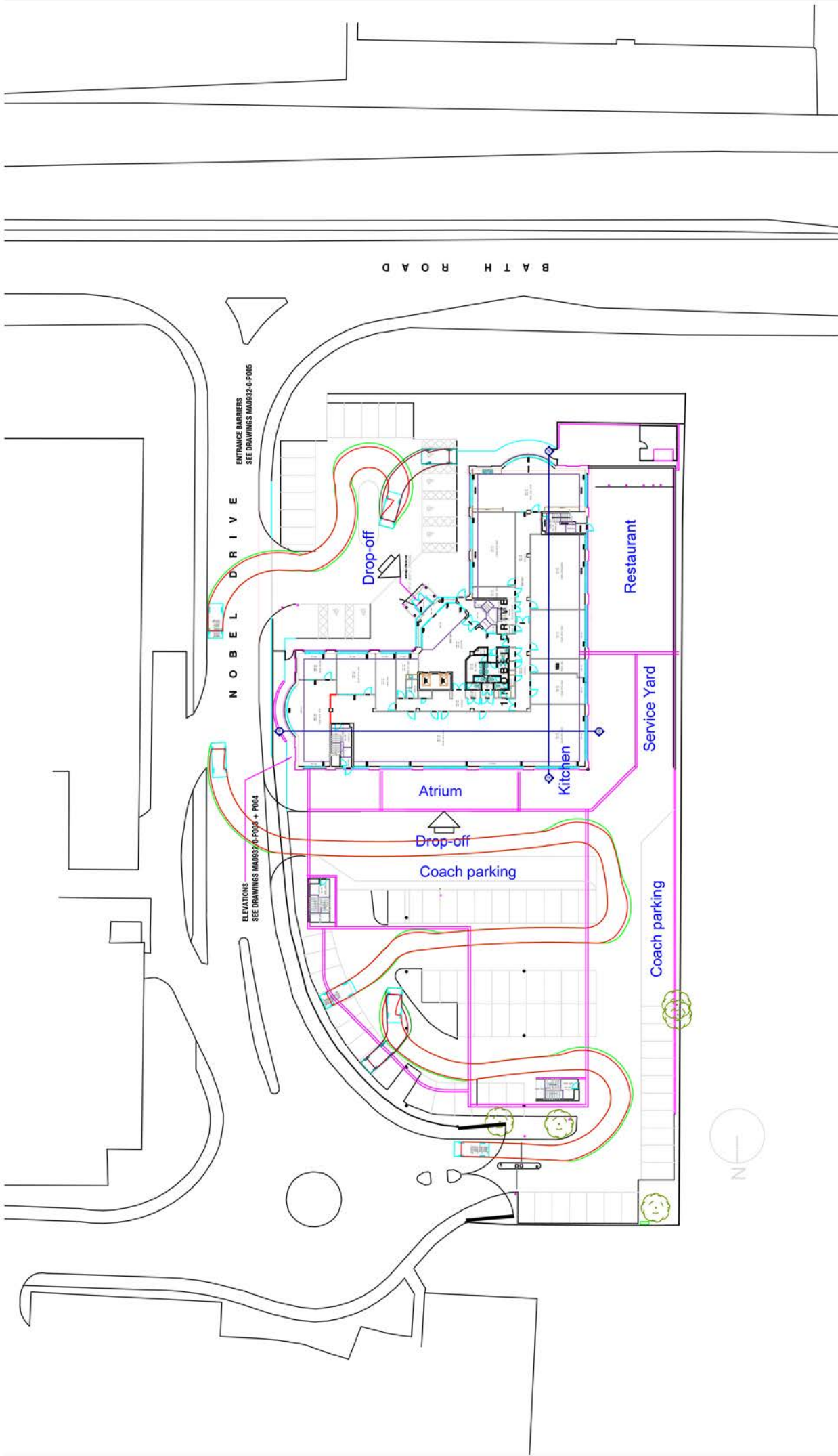
ANNE EVANS Dir. LA. GIOR GILL
CHARTERED LANDSCAPE ARCHITECT
WAINY ELMS
THE GREEN
SHUJSTONE
COLESHILL
BIRMINGHAM B46 2AN
Tel. 01675 487118
Mobile 07973 671402
email: anne.evans@wainy-elm.co.uk

LANDSCAPE STRATEGY
TO 1ST FLOOR DECK

NOBEL DRIVE
HARLINGTON
SURREY

DATE: 12/08/24
SHEET: 12/08/24

AE1449-02



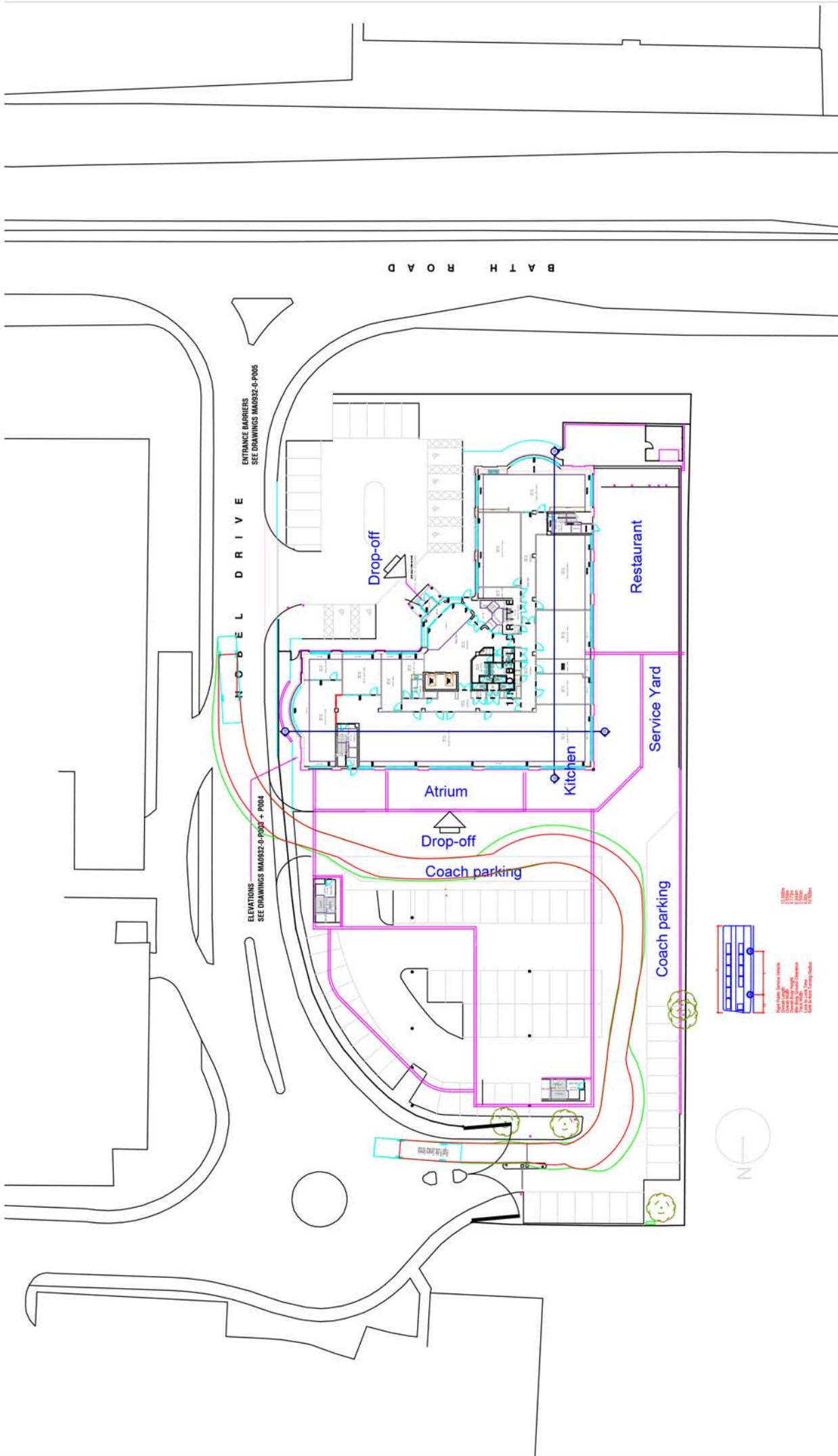
rev date revisions	revision notes	design change	checked	drawing status	focta Ltd. Architects ©	Check all dimensions and verify on site. Report any errors or omissions	
					first issued	drawn by PG	checked
					job code 1242-14	dwg sheet size A3	scale 1:500
						dwg no. prefix -	drawing number 01
							revision -

Preliminary
Site Layout Plan

Heathrow Top
1 Nobel Drive, Harlington



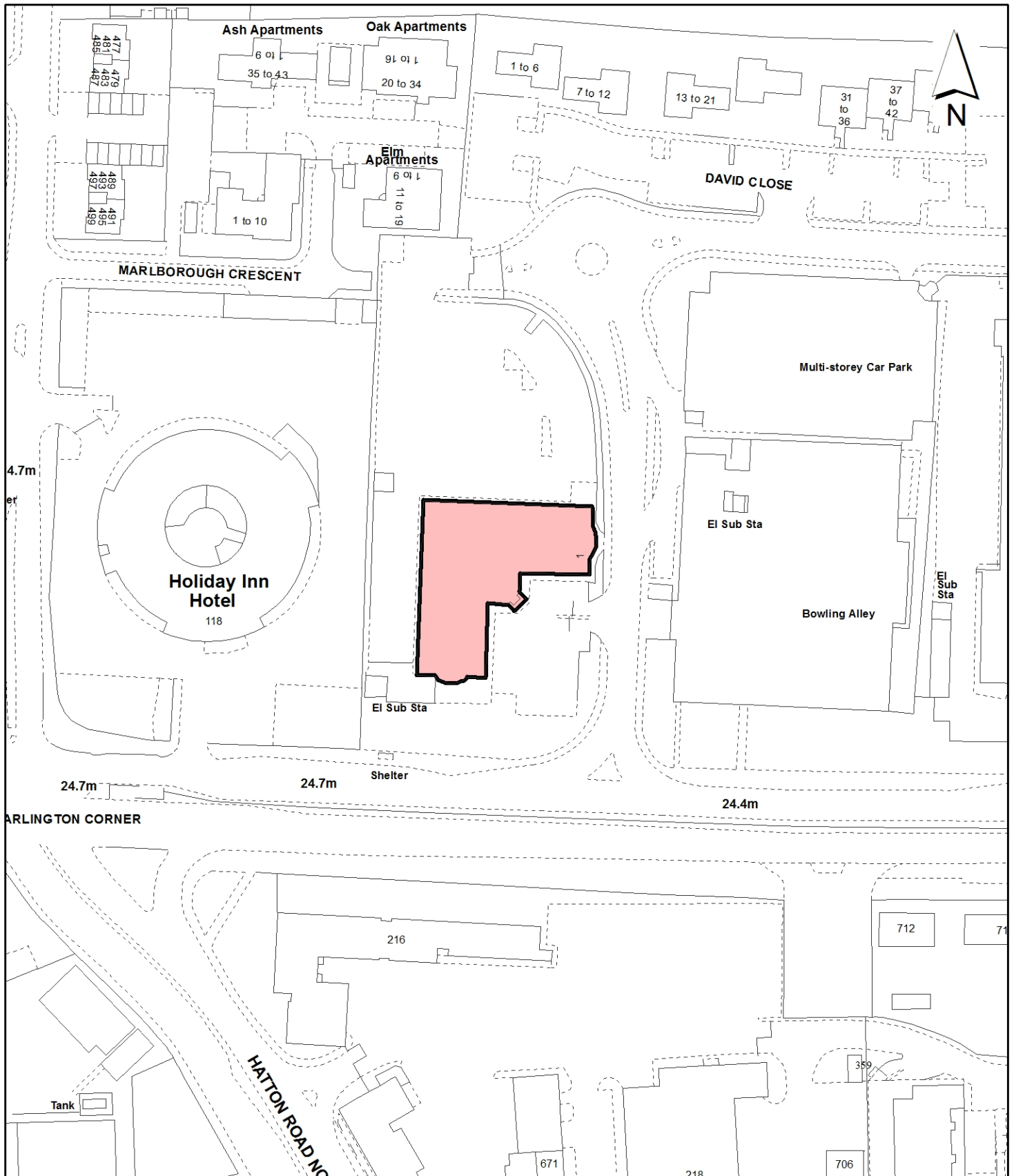
fo Architecture
The Old Telephone Exchange
Gipsy Lane, Basildon Common
Basildon, S17 7TU
Telephone 01776 535 530
e-mail info@foarch.co.uk
www.foarch.co.uk




ENTRANCE BARRIERS
SEE DRAWINGS IM0932-0-P005

ELEVATIONS
SEE DRAWINGS IM0932-0-P005 + P004

rev date revisions	revision notes	design change	checked	drawing status	focta Ltd. Architects ©	Check all dimensions and verify on site. Report any errors or omissions		checked
job title	Heathrow Top 1 Nobel Drive, Harlington			Preliminary	first issued	drawn by PG	draw sheet size A3	scale 1:500
				Site Layout Plan	job code 1242-14	dwg no. prefix -	drawing number 01	revision



Notes

 Site boundary

For identification purposes only.

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Site Address

**1 Nobel Drive
Harlington**

**LONDON BOROUGH
OF HILLINGDON**

**Residents Services
Planning Section**

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111

Planning Application Ref:

46214/APP/2014/2827

Scale

1:1,250

Planning Committee

Major

Date

March 2015



HILLINGDON
LONDON

Report of the Head of Planning, Sport and Green Spaces

Address WEST DRAYTON GARDEN VILLAGE PORTERS WAY WEST DRAYTON

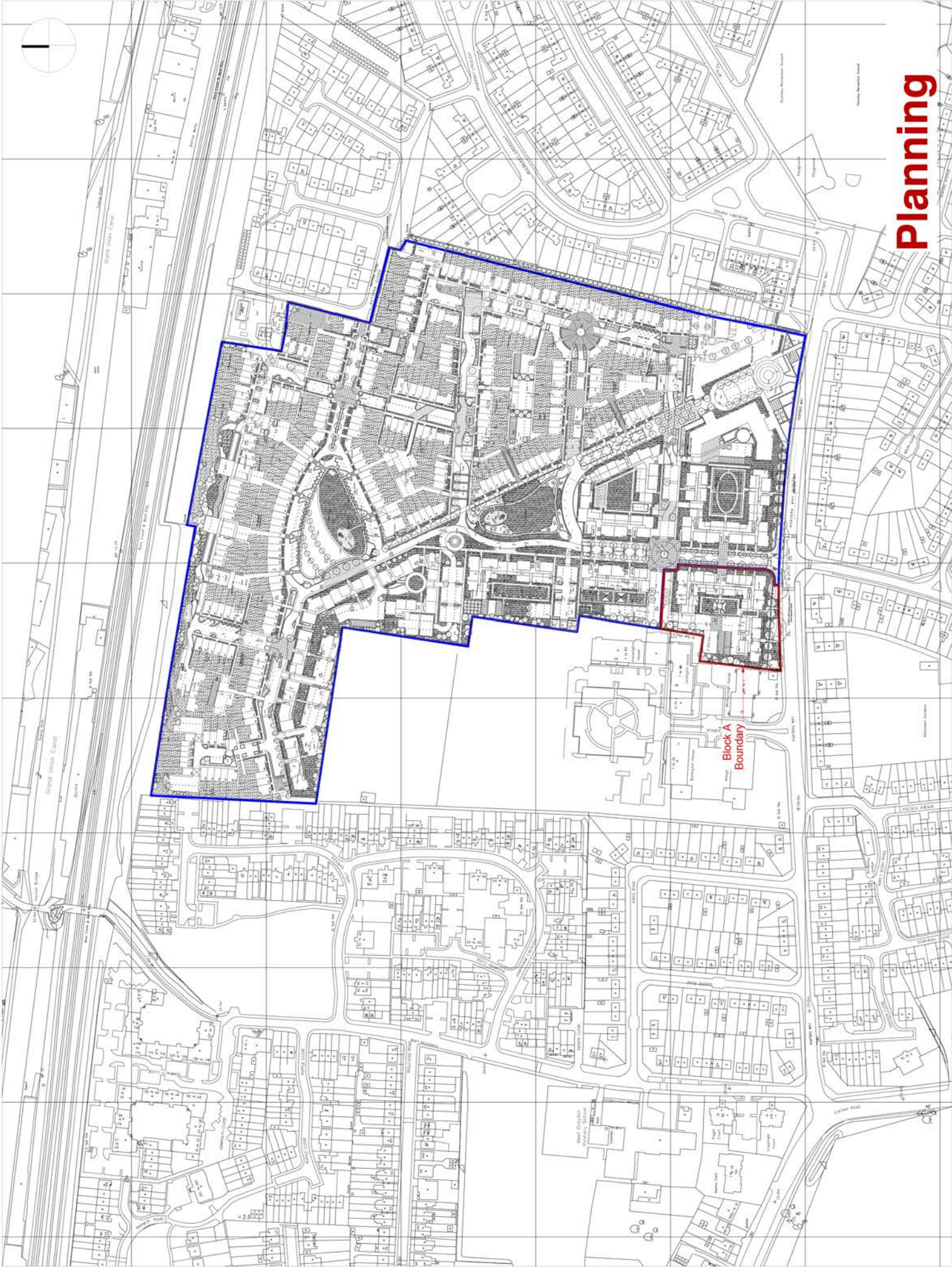
Development: Reserved matters (appearance and landscaping) in compliance with condition 2 and 3 for Phase 5 (Block A) (82 residential units) of planning permission ref: 5107/APP/2009/2348, dated 01/10/2010, for the proposed mixed used redevelopment of the Former NATS Site.

LBH Ref Nos: 5107/APP/2014/4304

Date Plans Received: 08/12/2014

Date(s) of Amendment(s):

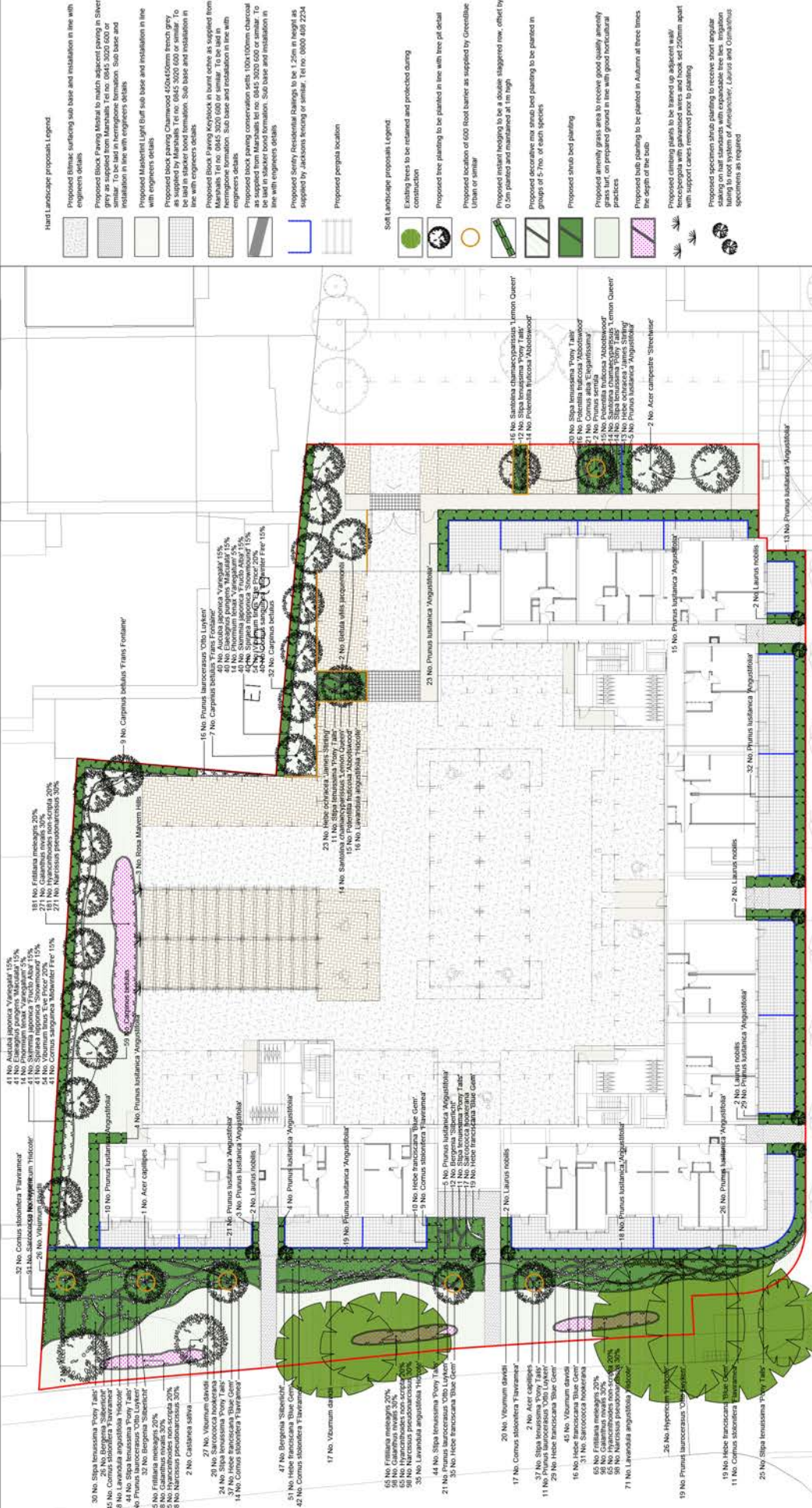
Date Application Valid: 11/12/2014



Planning

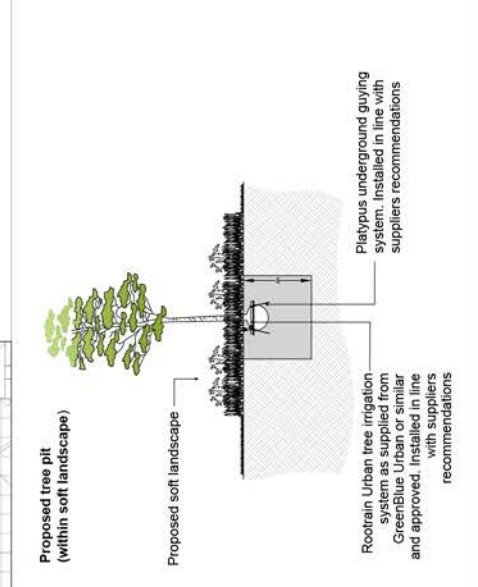
SPECIFICATION
 All trees and shrubs to be planted in accordance with the following specifications:
 All trees and shrubs certified as British Native Plant
 All plants to be supplied in 100% peat-free compost
 All planting should comply with the Horticultural Trade Association National Plant Maintenance Code
 All preparation, handling, planting & maintenance should be in accordance with CPRE Code for Healthy and Establishing Gardens Part 1 1992, Part 2 2000, Part 3 2000, Part 4 2000, Part 5 1992, Part 6 2000, Part 7 2000, Part 8 2000, Part 9 2000, Part 10 2000, Part 11 2000, Part 12 2000, Part 13 2000, Part 14 2000, Part 15 2000, Part 16 2000, Part 17 2000, Part 18 2000, Part 19 2000, Part 20 2000, Part 21 2000, Part 22 2000, Part 23 2000, Part 24 2000, Part 25 2000, Part 26 2000, Part 27 2000, Part 28 2000, Part 29 2000, Part 30 2000, Part 31 2000, Part 32 2000, Part 33 2000, Part 34 2000, Part 35 2000, Part 36 2000, Part 37 2000, Part 38 2000, Part 39 2000, Part 40 2000, Part 41 2000, Part 42 2000, Part 43 2000, Part 44 2000, Part 45 2000, Part 46 2000, Part 47 2000, Part 48 2000, Part 49 2000, Part 50 2000, Part 51 2000, Part 52 2000, Part 53 2000, Part 54 2000, Part 55 2000, Part 56 2000, Part 57 2000, Part 58 2000, Part 59 2000, Part 60 2000, Part 61 2000, Part 62 2000, Part 63 2000, Part 64 2000, Part 65 2000, Part 66 2000, Part 67 2000, Part 68 2000, Part 69 2000, Part 70 2000, Part 71 2000, Part 72 2000, Part 73 2000, Part 74 2000, Part 75 2000, Part 76 2000, Part 77 2000, Part 78 2000, Part 79 2000, Part 80 2000, Part 81 2000, Part 82 2000, Part 83 2000, Part 84 2000, Part 85 2000, Part 86 2000, Part 87 2000, Part 88 2000, Part 89 2000, Part 90 2000, Part 91 2000, Part 92 2000, Part 93 2000, Part 94 2000, Part 95 2000, Part 96 2000, Part 97 2000, Part 98 2000, Part 99 2000, Part 100 2000

NOTE: DO NOT SCALE FROM DRAWING



ACD
 Ecology
 Arboriculture
 Landscape Architecture
 107-109, The Quadrant, Exeter, Devon, EX1 1JG
 Tel: 01392 266666
 Fax: 01392 266667
 www.acd-uk.co.uk

Client: Ground Floor, Block A, Droyton Garden Village
Client: Inland Homes
Date: October 14
Scale: 1:2000@A1
Drawn by: INL19176-1-1C
Checked by: AB
Project No: 19176-1-1C



Proposed Sentry Residential Railings To podium edge. To be 1.25m high. As supplied by Jacksons fencing or similar. Tel no: 0800 488 2234



Proposed tree pit (within soft landscape)

Planting Schedule

Tree No.	Tree Name	Height	Plant Size	Plant Specification	Quantity
1	No. Acer capillipes	1.2m	100mm	Standard	2
2	No. Prunus laurocerasus 'Obo Luyker'	1.5m	100mm	Standard	2
3	No. Rosa Marmora Hills	1.2m	100mm	Standard	2
4	No. Spirea japonica 'Vividissima'	1.5m	100mm	Standard	2
5	No. Spiraea japonica 'Snowmound'	1.5m	100mm	Standard	2
6	No. Cornus sanguinea 'Majorer Fern'	1.5m	100mm	Standard	2
7	No. Cornus sanguinea 'Majorer Fern'	1.5m	100mm	Standard	2
8	No. Prunus laurocerasus 'Obo Luyker'	1.5m	100mm	Standard	2
9	No. Cornus stolonifera 'Lantern'	1.5m	100mm	Standard	2
10	No. Prunus laurocerasus 'Obo Luyker'	1.5m	100mm	Standard	2
11	No. Prunus laurocerasus 'Obo Luyker'	1.5m	100mm	Standard	2
12	No. Prunus laurocerasus 'Obo Luyker'	1.5m	100mm	Standard	2
13	No. Prunus laurocerasus 'Obo Luyker'	1.5m	100mm	Standard	2
14	No. Prunus laurocerasus 'Obo Luyker'	1.5m	100mm	Standard	2
15	No. Prunus laurocerasus 'Obo Luyker'	1.5m	100mm	Standard	2
16	No. Prunus laurocerasus 'Obo Luyker'	1.5m	100mm	Standard	2
17	No. Viburnum davidii	1.5m	100mm	Standard	2
18	No. Prunus laurocerasus 'Obo Luyker'	1.5m	100mm	Standard	2
19	No. Prunus laurocerasus 'Obo Luyker'	1.5m	100mm	Standard	2
20	No. Prunus laurocerasus 'Obo Luyker'	1.5m	100mm	Standard	2
21	No. Prunus laurocerasus 'Obo Luyker'	1.5m	100mm	Standard	2
22	No. Prunus laurocerasus 'Obo Luyker'	1.5m	100mm	Standard	2
23	No. Hebe colquhounii 'James Spinky'	1.5m	100mm	Standard	2
24	No. Hebe colquhounii 'James Spinky'	1.5m	100mm	Standard	2
25	No. Hebe colquhounii 'James Spinky'	1.5m	100mm	Standard	2
26	No. Prunus laurocerasus 'Obo Luyker'	1.5m	100mm	Standard	2
27	No. Prunus laurocerasus 'Obo Luyker'	1.5m	100mm	Standard	2
28	No. Prunus laurocerasus 'Obo Luyker'	1.5m	100mm	Standard	2
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32	No. Prunus laurocerasus 'Obo Luyker'	1.5m	100mm	Standard	2
33	No. Prunus laurocerasus 'Obo Luyker'	1.5m	100mm	Standard	2
34	No. Prunus laurocerasus 'Obo Luyker'	1.5m	100mm	Standard	2
35	No. Prunus laurocerasus 'Obo Luyker'	1.5m	100mm	Standard	2
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42	No. Prunus laurocerasus 'Obo Luyker'	1.5m	100mm	Standard	2
43	No. Prunus laurocerasus 'Obo Luyker'	1.5m	100mm	Standard	2
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46	No. Prunus laurocerasus 'Obo Luyker'	1.5m	100mm	Standard	2
47	No. Prunus laurocerasus 'Obo Luyker'	1.5m	100mm	Standard	2
48	No. Prunus laurocerasus 'Obo Luyker'	1.5m	100mm	Standard	2
49	No. Prunus laurocerasus 'Obo Luyker'	1.5m	100mm	Standard	2
50	No. Prunus laurocerasus 'Obo Luyker'	1.5m	100mm	Standard	2
51					

Key:

Private Residential

Block paving (Subject to drainage strategy)

Tarmac to Car Park (Subject to drainage strategy)

El Sub Sta

BOULEVARD

BLOCK E

New raised table in accordance with Engineers details

Landscaping is indicative. Refer to Landscape Consultant drawings for details
Planning



Key:

Private Residential



1250m Railing to external edge of landscaped deck

New raised table in accordance with Engineers details

Landscaping is indicative. Refer to Landscape Consultant drawings for details
Planning

Key:
 Private Residential



Landscaping is indicative. Refer to Landscape Consultant drawings for details
Planning

BLOCK E

BOULEVARD

El Sub Sta

New raised table in accordance with Engineers details

70

74

88

Key:
 Private Residential



New raised table in accordance with Engineers details

Landscaping is indicative. Refer to Landscape Consultant drawings for details
Planning

BLOCK E

BOULEVARD

El Sub Sta

Sta

70

74

88

Key:

Private Residential



New raised table in accordance with Engineers details

Landscaping is indicative. Refer to Landscape Consultant drawings for details
Planning

BLOCK E

BOULEVARD

El Sub Sta

Sta

70

74

88

Revisions:

- 00 05 September 14
- 01 14 November 14
- 02 03 October 14
- 03 29 October 14
- 04 30 October 14
- 05 07 November 14
- 06 18 November 14
- 07 25 November 14
- 08 05 December 14



Drayton Garden
Village, Block A

for

Inland Homes



1363-D2700-rev08

Scale: 1:100 @ A1
Date: 04 September 2014

Elevation AA:
Proposed



ENTRANCE

Landscaping is indicative. Refer to
Landscape Consultant drawings for details

Planning

Revisions:

- 00 05 September 14
- 01 05 September 14
- 02 03 October 14
- 03 29 October 14
- 04 30 October 14
- 05 07 November 14
- 06 18 November 14
- 07 25 November 14



Drayton Garden
Village, Block A

for

Inland Homes



1363-D2701-rev07

Scale: 1:100 @ A1
Date: 04 September 2014

Elevation BB:
Proposed



ENTRANCE

ENTRANCE

Landscaping is indicative. Refer to
Landscape Consultant drawings for details

Planning



- Revisions:
- 00 05 September 14
 - 01 05 September 14
 - 02 03 October 14
 - 03 29 October 14
 - 04 30 October 14
 - 05 07 November 14
 - 06 18 November 14
 - 07 25 November 14
 - 08 05 December 14



Drayton Garden
Village, Block A

for

Inland Homes



1363-D2702-rev08

Scale: 1:100 @ A1
Date: 04 September 2014

Elevation CC:
Proposed

Landscaping is indicative. Refer to
Landscape Consultant drawings for details

Planning

- Revisions:
- 00 05 September 14
 - 01 15 September 14
 - 02 03 October 14
 - 03 29 October 14
 - 04 30 October 14
 - 05 07 November 14
 - 06 18 November 14
 - 07 25 November 14



Drayton Garden
Village, Block A

for

Inland Homes



1363-D2703-rev07

Scale: 1:100 @ A1
Date: 04 September 2014

Elevation DD:
Proposed

ELEVATION BREAK



Landscaping is indicative. Refer to
Landscape Consultant drawings for details

Planning

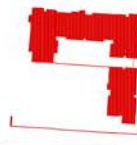


Landscaping is indicative. Refer to
Landscape Consultant drawings for details

Planning

Revisions:

- 00 05 September 14
- 01 05 September 14
- 02 03 October 14
- 03 29 October 14
- 04 30 October 14
- 05 07 November 14
- 06 18 November 14
- 07 25 November 14



Drayton Garden
Village, Block A

for

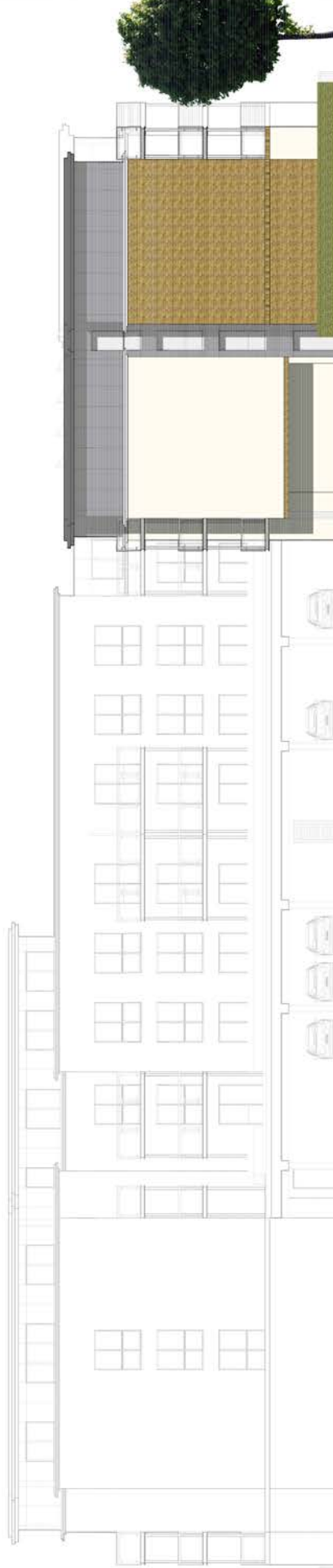
Inland Homes



1363-D2705-rev07

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Date: 04 September 2014

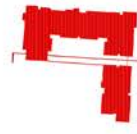
Elevation FF:
Proposed



Landscaping is indicative. Refer to
Landscape Consultant drawings for details

Planning

- Revisions:
- 00 05 September 14
 - 01 05 September 14
 - 02 03 October 14
 - 03 28 October 14
 - 04 30 October 14
 - 05 07 November 14
 - 06 18 November 14
 - 07 25 November 14



Drayton Garden
Village, Block A

for

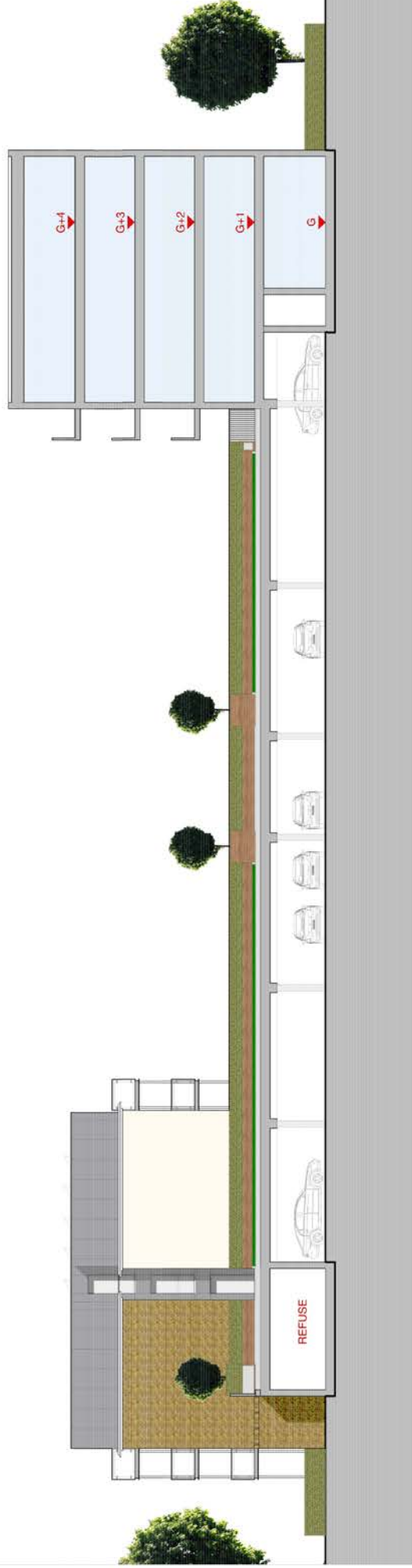
Inland Homes



1363-D2706-rev07

Scale: 1:100 @ A1
Date: 04 September 2014

Elevation GG:
Proposed



Landscaping is indicative. Refer to
Landscape Consultant drawings for details

Planning

Revisions:

- 00 05 September 14
- 01 15 September 14
- 02 03 October 14
- 03 28 October 14
- 04 30 October 14
- 05 07 November 14
- 06 18 November 14
- 07 25 November 14



Drayton Garden
Village, Block A

for

Inland Homes



1363-D2707-rev07

Scale: 1:100 @ A1
Date: 04 September 2014

Elevation HH:
Proposed

PHASE BOUNDARY

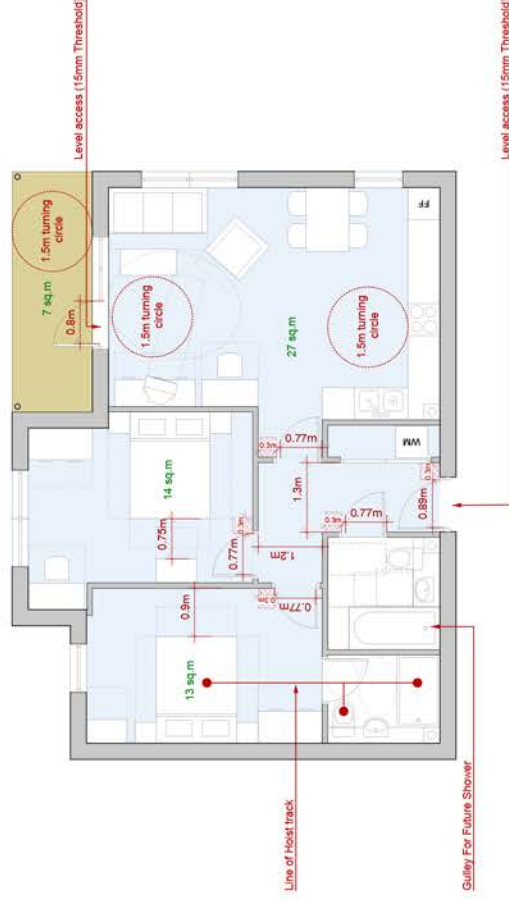
PHASE BOUNDARY



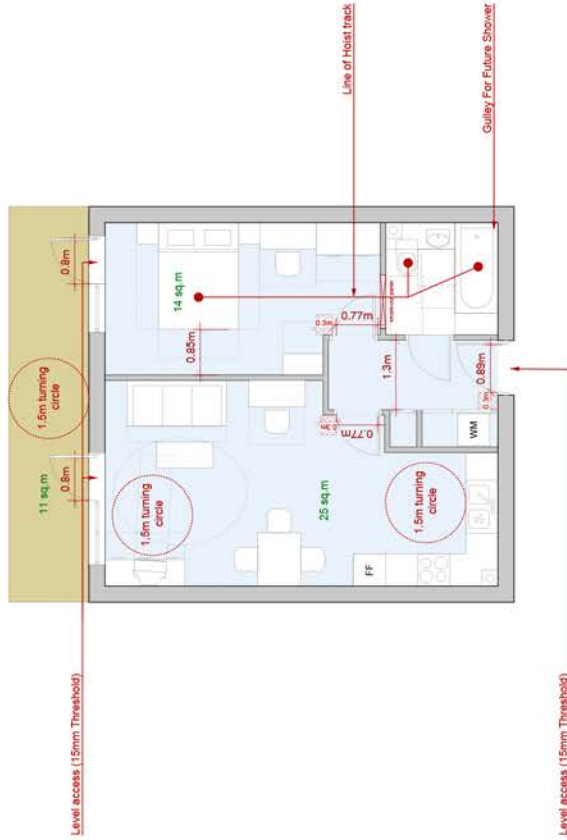
Landscaping is indicative. Refer to
Landscape Consultant drawings for details

Planning

Typical 2 Bed Flat 70.6 sq.m



Typical 1-Bed Flat 50.0 sq.m



The Lifetime Home Standards

- 1. Car Parking** - Where parking is provided by communal or shared bays, at least one parking space 3300mm wide x 4800mm deep should be provided adjacent to (or close to) each block's entrance or lift core.
The access route between the parking and communal entrance (or in the case of basement parking, the lift core) should maintain a minimum clear width of 1200mm.
- 2. Access from Car Parking** - The distance from the car parking space to the dwelling entrance (or relevant block entrance or lift core), should be kept to a minimum and be level or gently sloping. The distance from visitors parking to relevant entrances should be as short as practicable and be level or gently sloping.
- 3. Approach** - The approach to all entrances should be level or gently sloping.
- 4. External Entrances** - All entrances should be illuminated and have level access over the threshold. They should have effective clear opening widths as follows: There should be 300mm clear opening widths at doors and 400mm clear opening widths at windows. For communal doors - When the approach is head on or at right angles to the entrance at least 1500mm wide, the opening should have a clear width of 800mm. When the approach is at right angles to an access route at least 1200mm wide, the opening should have a clear width of 825mm.
Main entrances should also have adequate weather protection and have a level external landing.
- 5. Communal Stairs** - Communal stairs should provide easy access and, where homes are reached by a lift, it should be fully accessible.
- 6. Internal Doorways & Hallways** - Movement in hallways and through doorways should be as convenient to the widest range of people, including those using mobility aids or wheelchairs, and those moving furniture or other objects. As a general principle, narrower hallways and landings will need wider doorways in their side walls.
For internal dwelling doors - When the approach is head on or at right angles to an access route at least 1200mm wide, the opening should have a clear width of 750mm. When the approach is at right angles to an access route at least 1050mm wide, the opening should have a clear width of 775mm. When the approach is at right angles to an access route less than 1050mm wide, the opening should have a clear width of 900mm.

SEE DRAWING

YES

N/A

N/A

YES (stud walls will include plywood sublayer)

N/A

SEE DRAWING

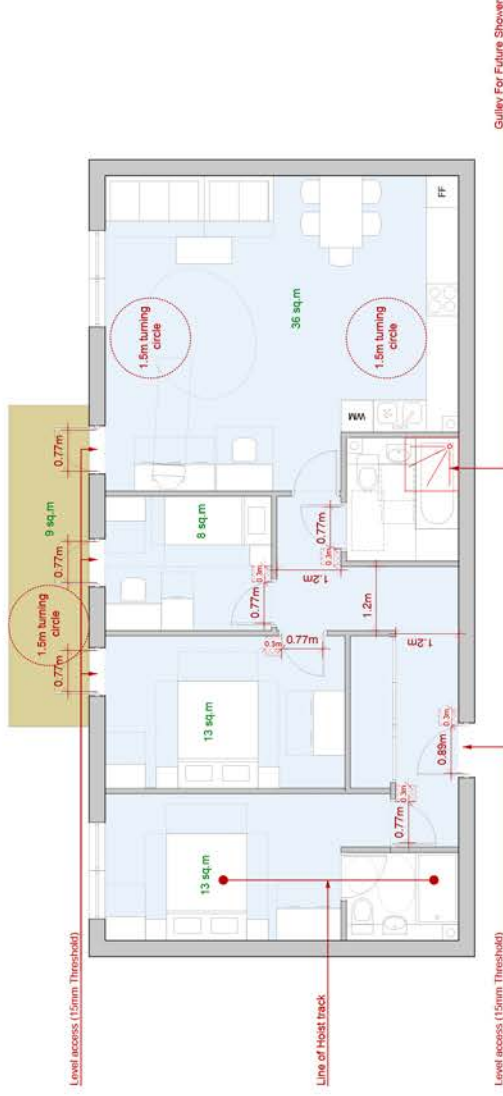
SEE DRAWING

YES

YES

Planning

Typical 3 Bed Flat 94.5 sq.m



The Lifetime Home Standards

- 1. Car Parking** - Where parking is provided by communal or shared bays, at least one parking space 3300mm wide x 4800mm deep should be provided adjacent to (or close to) each block's entrance or lift core.
The access route between the parking and communal entrance (or in the case of basement parking, the lift core) should maintain a minimum clear width of 1200mm.
- 2. Access from Car Parking** - The distance from the car parking space to the dwelling entrance (or relevant block entrance or lift core), should be kept to a minimum and be level or gently sloping. The distance from visitors parking to relevant entrances should be as short as practicable and be level or gently sloping.
- 3. Approach** - The approach to all entrances should be level or gently sloping.
- 4. External Entrances** - All entrances should be illuminated and have level access over the threshold. They should have effective clear opening widths at mins as follows: There should be 300mm clear opening widths at the entrance to the lift core and to the main entrance. For communal doors - When the approach is head on or at right angles to the approach, at least 1500mm wide, the opening should have a clear width of 800mm. When the approach is at right angles to an access route at least 1200mm wide, the opening should have a clear width of 825mm.
Main entrances should also have adequate weather protection and have a level external landing.
- 5. Communal Stairs** - Communal stairs should provide easy access and, where homes are reached by a lift, it should be fully accessible.
- 6. Internal Doorways & Hallways** - Movement in hallways and through doorways should be as convenient to the widest range of people, including those using mobility aids or wheelchairs, and those moving furniture or other objects. As a general principle, narrower hallways and landings will need wider doorways in their side walls.
For internal dwelling doors - When the approach is head on or at right angles to an access route at least 1200mm wide, the opening should have a clear width of 750mm. When the approach is at right angles to an access route at least 1050mm wide, the opening should have a clear width of 775mm. When the approach is at right angles to an access route less than 1050mm wide, the opening should have a clear width of 900mm.

SEE DRAWING

YES

N/A

N/A

YES (stud walls will include plywood sublayer)

N/A

SEE DRAWING

SEE DRAWING

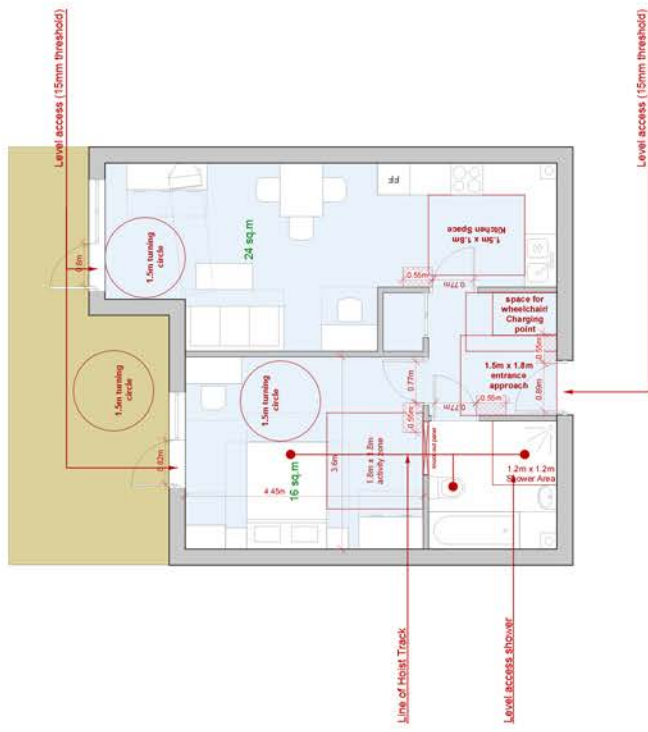
YES

YES

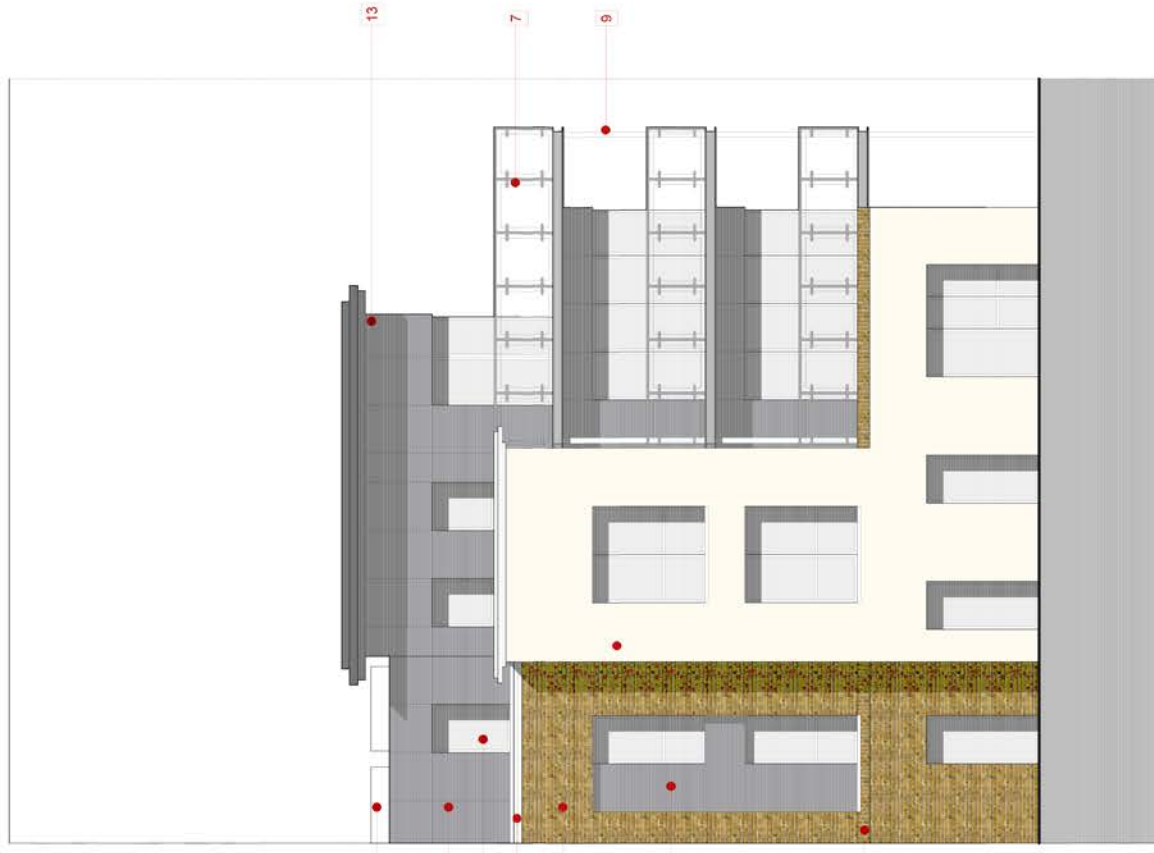
Typical 2 Bed Wheelchair Flat 78.2 sq.m



Typical 1 Bed Wheelchair Flat 54 sq.m



Planning



Elevation Detail B



Elevation Detail A

Detail Location Key



Elevation AA - Refer to drawing D2700 for full elevation

- Material Key**
- 1. Buff Stock Brickwork
 - 2. White Through Coloured Render
 - 3. Grey Render
 - 4. Double Glazed Window
 - 5. Double Glazed Door
 - 6. Glazed Balustrade
 - 7. Glazed Corner Balustrade
 - 8. Grey Render
 - 9. Painted Balcony Support Column
 - 10. Buff Stock Brickwork Soldier Course
 - 11. White Moulding Detail
 - 12. Painted Metal Entrance Canopy
 - 13. Painted Metal Roof Edge Detail
 - 14. Painted Structural Column
 - 15. PV Panels
 - 16. Raised Flat Numbers
 - 17. Louvered Bin Store Door

Planning

Revisions:

- 00 24 September 14
- 01 03 October 14
- 02 28 October 14
- 03 30 October 14
- 04 10 November 14
- 05 10 November 14
- 06 23 November 14

Drayton Garden
Village Block A

for

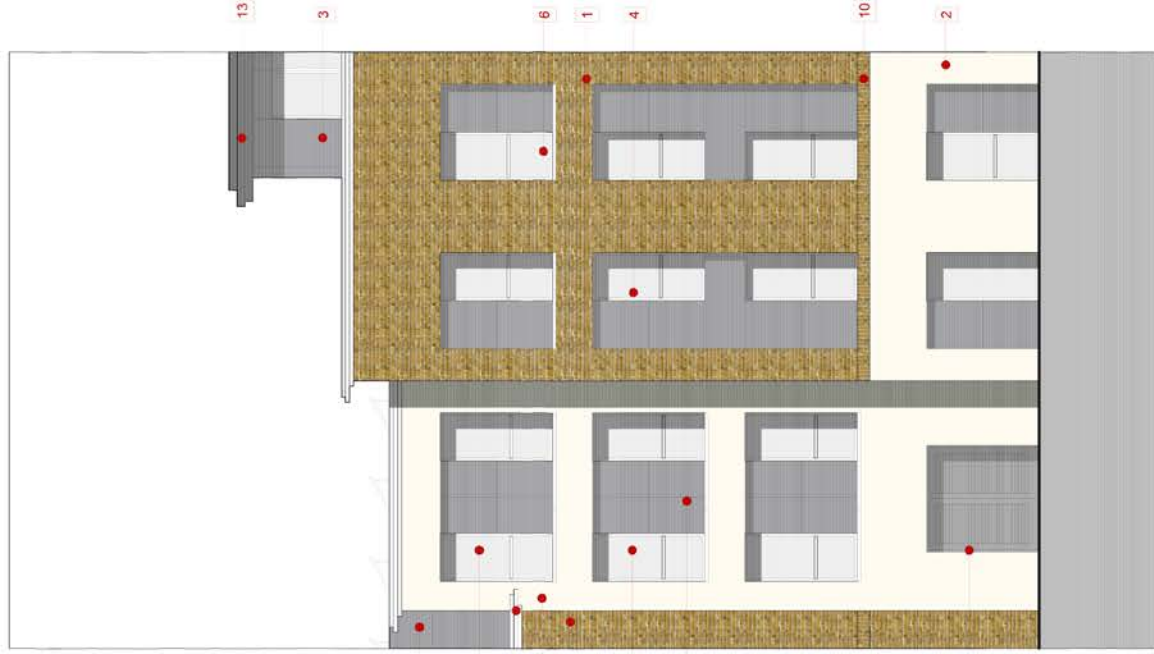


1363-D2751-rev06

Scale: 1:50 @ A1
Date: 19 September 2014

Detail Elevations 2

Planning



Elevation Detail D



Elevation Detail C

Detail Location Key



Elevation BB - Refer to drawing D2701 for full elevation

Material Key

- 1. Buff Stock Brickwork
- 2. White Through Coloured Render
- 3. Grey Render
- 4. Double Glazed Window
- 5. Double Glazed Door
- 6. Glazed Balustrade
- 7. Glazed Corner Balustrade
- 8. Grey Render
- 9. Painted Balcony Support Column
- 10. Buff Stock Brickwork Soldier Course
- 11. White Moulding Detail
- 12. Painted Metal Entrance Canopy
- 13. Painted Metal Roof Edge Detail
- 14. Painted Structural Column
- 15. PV Panels
- 16. Raised Flat Numbers
- 17. Louvered Bin Store Door

Revisions:

- 00 24 September 14
- 01 03 October 14
- 02 28 October 14
- 03 30 October 14
- 04 7 November 14
- 05 10 November 14
- 06 23 November 14

Drayton Garden
Village Block A

for



1363-D2752-rev06

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Date: 19 September 2014

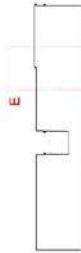
Detail Elevations 3

Planning



Elevation Detail E

Detail Location Key



Elevation CC - Refer to drawing D2702 for full elevation

Material Key

- 1. Buff Stock Brickwork
- 2. White Through Coloured Render
- 3. Grey Render
- 4. Double Glazed Window
- 5. Double Glazed Door
- 6. Glazed Balustrade
- 7. Glazed Corner Balustrade
- 8. Grey Render
- 9. Painted Balcony Support Column
- 10. Buff Stock Brickwork Soldier Course
- 11. White Moulding Detail
- 12. Painted Metal Entrance Canopy
- 13. Painted Metal Roof Edge Detail
- 14. Painted Structural Column
- 15. PV Panels
- 16. Raised Flat Numbers
- 17. Louvered Bin Store Door

NOTES

1. Surface water drainage will include GDI's devices such as trench soakaways, infiltration basins or porous soakaways.
2. On-site testing indicates an infiltration rate of 1.10 l/m² (0.36m/hr), this would equate to a trench width of 1m effective depth and 2.0m length for an average house area of 50 sq.m.
3. Information given for foul water pumping stations is for guidance only, final specification, depths, storage etc. are subject to the domestic engineering design for each Phase.
4. All surface water disposal to be undertaken by Phase Developer.

Sluiceway	Combining	Base	Effective
Size	(m)	(m)	Rate
1	2845	221	0.001
2	1503	120	0.045
3	1834	147	0.039
4	660	33	0.062
5	1700	85	0.040
6	2190	170	0.080
7	474	36	0.061
8	825	65	0.074
9	720	57	0.059
10	1080	81	0.082
11	1500	112	0.075
12	1520	118	0.086
13	962	77	0.083
14	713	55	0.084
15	1134	110	1.000
16	916	88	1.000
17	916	88	1.000
18	629	48	1.000

KEY

- Existing surface water sewer
- Existing surface water sewer to be abandoned
- Deviation of surface water sewer
- Phase 1 boundary
- Phase 1b boundary
- Proposed foul drainage
- Proposed foul pumping station
- Proposed foul rising main
- Numbered infiltration basins
- Trench soakaways
- Rainwater harvesting tank
- Wetland areas fed by roof water of neighbouring properties
- Finished Floor Levels

Rev	Date	Details	By	Checked
M	04.12.14	Block A layout updated	SLW	JMR
L	10.02.14	Block B & C layout updated. Phase 5 omitted	SLW	JMR
J	25.03.11	Energy conservation measures	SLW	JMR
J	25.03.11	Energy conservation measures, storage basins removed	ASB	JMR
H	11.02.11	Foul pumping means revised. Infiltration basins revised	EDC	JMR
G	03.02.11	Updated to latest ACD layout, incorporating revised development phasing	EDC	JMR
F	27.9.10	Phase 5 information added - note 4 added	EDC	JMR
E	15.05.10	Phase 5 information added - note 4 added. Final layout updated. Final details in Project's key revision.	EDC	JMR
D		SW diversion updated to designed route.		

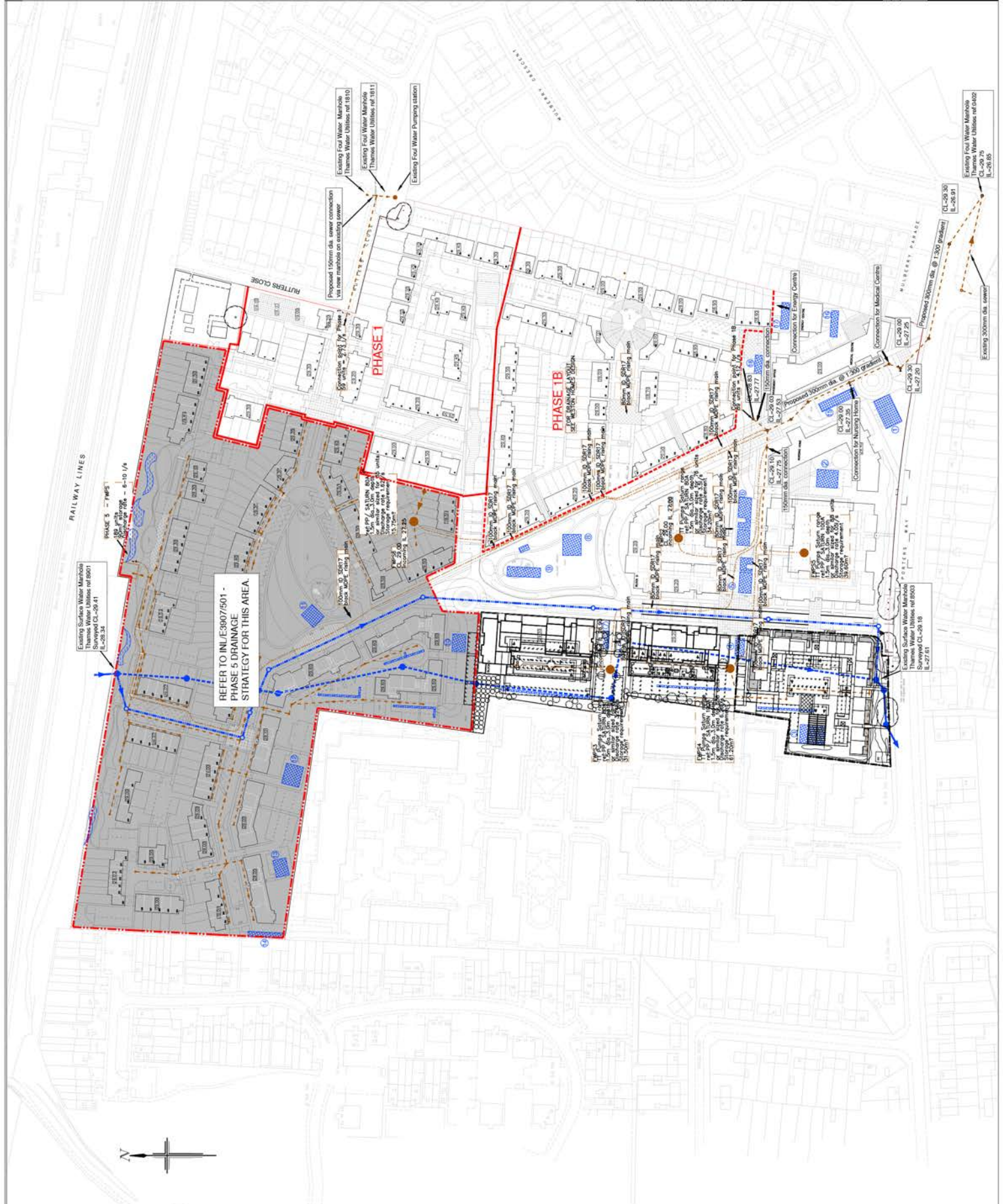
Client:
DGV Ltd
 2 Anglo Office Park
 67 White Lion Road
 Amersham
 Bucks HP7 9FB

Drawing Title:
DRAINAGE STRATEGY

Date: June 2021
 Scale: 1:1000
 Drawn: JMR
 Checked: JMR

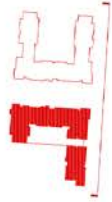
Drawing No. **INL/E3685/300 M**

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 Hook Hampton RG7 6JY
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REFER TO INL/E3607501 -
 PHASE 5 DRAINAGE
 STRATEGY FOR THIS AREA





Landscaping is indicative. Refer to
 Landscape Consultant drawings for details

Preliminary

Revisions:

- 00 08 September 14
- 01 26 September 14
- 02 29 September 14
- 03 29 October 14
- 04 30 October 14
- 05 17 November 14
- 06 18 November 14
- 07 25 November 14



Drayton Garden
Village Block A

for

Inland Homes



1363-D2721-rev07

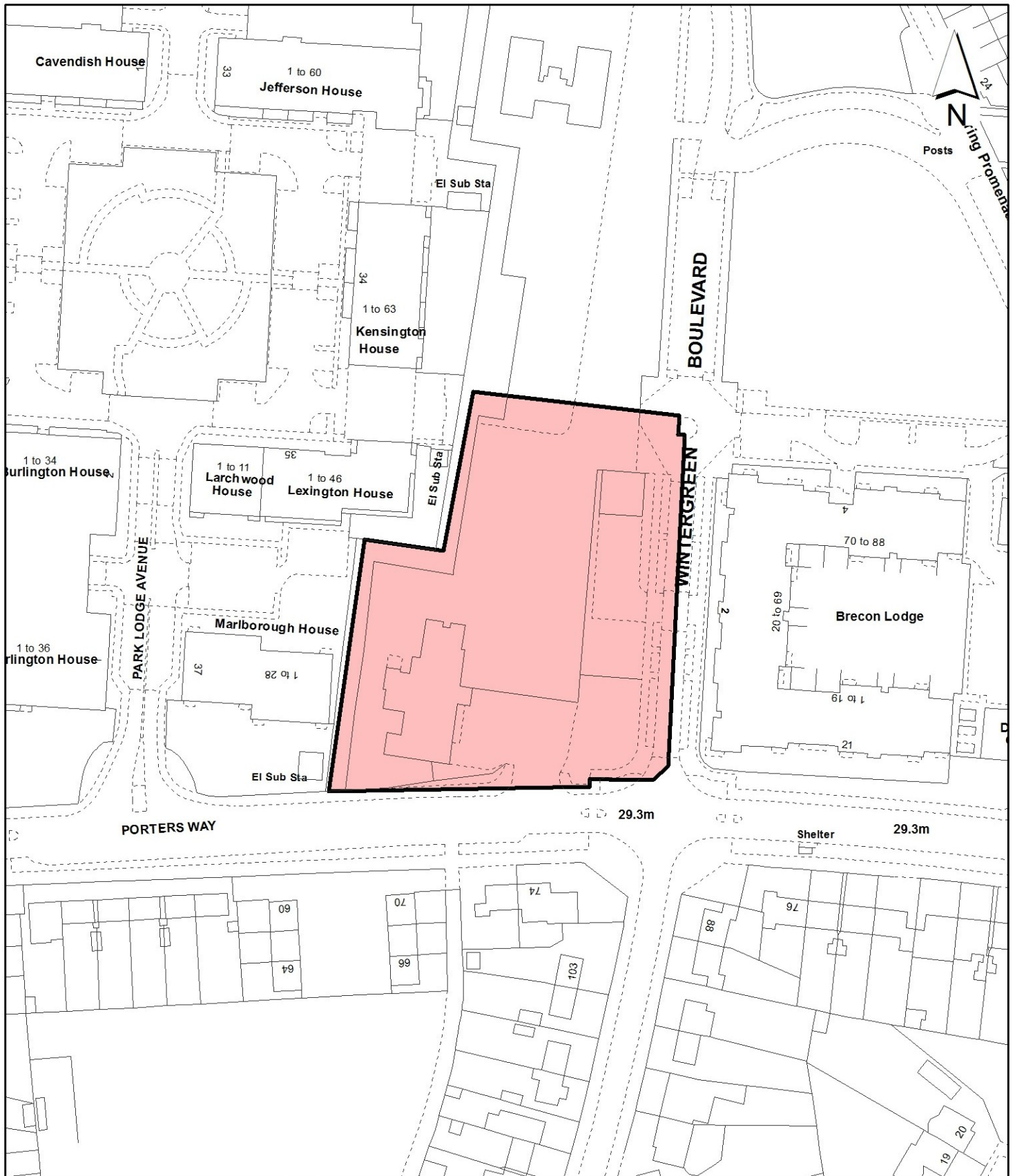
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Date: 08 September 2014

Boulevard
Street Elevation



Landscaping is indicative. Refer to
Landscape Consultant drawings for details

Preliminary



Notes

 Site boundary

For identification purposes only.

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Site Address

**West Drayton Garden Village
Porters Way
West Drayton**

**LONDON BOROUGH
OF HILLINGDON**

**Residents Services
Planning Section**

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111

Planning Application Ref:

5107/APP/2014/4304

Scale

1:1,250

Planning Committee

Major

Date

March 2015



HILLINGDON
LONDON